

Chair:
Roberta Thompson

Commissioners:
Brent Bartel
Angela Hames
Phillip Neururer
Clayton
Zimmerman
Steven Jones
James Lambeth
Nick Gehrig
(Alternate)

Council Liaison:
Mayor David Grant



Planning Commission
October 5, 2016
6:30 p.m.
City Hall

Address:
1245 W Highway 96
Arden Hills MN 55112

Phone:
651-792-7800

Website:
www.cityofardenhills.org

City Vision

Arden Hills is a strong community that values its unique environmental setting, strong residential neighborhoods, vital business community, well-maintained infrastructure, fiscal soundness, and our long-standing tradition as a desirable City in which to live, work, and play.

Agenda

CALL TO ORDER

1. APPROVAL OF THE AGENDA

2. APPROVAL OF MINUTES

2.A. September 7, 2016, Planning Commission Regular Meeting

Documents:

[09-07-16PC.PDF](#)

3. PLANNING CASES

3.A. Planning Case 16-024 - Final PUD - 1150 County Road E West (No Public Hearing)

Prepared By Matthew Bachler, Senior Planner

Documents:

[MEMO.PDF](#)
[ATTACHMENT A.PDF](#)
[ATTACHMENT B.PDF](#)
[ATTACHMENT C.PDF](#)
[ATTACHMENT D.PDF](#)
[ATTACHMENT E.PDF](#)
[ATTACHMENT F.PDF](#)

[ATTACHMENT G.PDF](#)
[ATTACHMENT H.PDF](#)

4. UNFINISHED AND NEW BUSINESS

5. COMMENTS AND REPORTS

5.A. Report From The City Council

Documents:

[10-05-16 - REPORT FROM THE CITY COUNCIL.PDF](#)

5.B. Rice Creek Commons (TCAAP) Update

Documents:

[PC 10 05 16.PDF](#)

5.C. Planning Commission Comments

5.D. Staff Comments

ADJOURN

**A quorum of the City Council may be
present at this meeting.**



DRAFT

Approved: October 3, 2016

**CITY OF ARDEN HILLS, MINNESOTA
PLANNING COMMISSION
WEDNESDAY, SEPTEMBER 7, 2016
6:30 P.M. - ARDEN HILLS CITY HALL**

CALL TO ORDER/ROLL CALL

Pursuant to due call and notice thereof, Chair Roberta Thompson called to order the regular Planning Commission meeting at 6:30 p.m.

ROLL CALL

Present were: Chair Roberta Thompson, Commissioners Brent Bartel, Nick Gehrig, Angela Hames, Steven Jones, Phillip Neururer, and Clayton Zimmerman.

Absent: Commissioner James Lambeth (excused).

Also present were: Senior Planner Matthew Bachler and Mayor Grant.

APPROVAL OF AGENDA – SEPTEMBER 7, 2016

Chair Thompson stated the agenda will stand as published.

APPROVAL OF MINUTES

August 3, 2016 – Planning Commission Regular Meeting

Commissioner Jones moved, seconded by Commissioner Zimmerman, to approve the August 3, 2016, Planning Commission Regular Meeting minutes as presented. The motion carried unanimously (7-0).

PLANNING CASES

A. Planning Case 16-022; Variance; 1500 Arden Place –No Public Hearing Required

Senior Planner Bachler stated the property at 1500 Arden Place is located in the R-1 District on the northeast side of Lake Johanna. The applicants have proposed taking down the existing dwelling on the property and constructing a new single-family dwelling and accessory storage building. The new house would consist of two levels with a walkout basement facing Lake Johanna. Overall, the structure would have an area of 3,152 square feet. Included in this footprint are a 784 square foot attached garage, 168 square foot screened porch, and 328 square foot deck.

The 520 square foot accessory building would be located between the proposed house and the west side property line, and would be used primarily for the storage of lake equipment. Due to a significant grade change on the north side of the property along Arden Place, the existing dwelling has been accessed by a driveway easement across the adjacent property at 1516 Arden Place. The plans include the construction of a new curb cut on Arden Place to provide direct driveway access from the public street, eliminating the need for the driveway easement.

Senior Planner Bachler reported three setback variances are needed for the proposed dwelling. For properties with frontage on Lake Johanna, the Zoning Code requires principal structures to be setback a minimum of 50 feet from the ordinary high water level except where the adjoining lots have structures setback at a distance greater than 50 feet. In these cases, the Zoning Code requires the lakeshore setback be calculated based on the prevailing setbacks in order to protect sight lines. The required lakeshore setback for 1500 Arden Place has been calculated at 80 feet – 2 inches. A variance is needed for the dwelling to encroach 15 feet – 9 inches into this required setback. Decks may extend up to six feet into a required structure setback, and in this case a deck could be 74 feet – 2 inches from the shoreline. A portion of the deck on the south side of the house would extend 15 feet – 4 inches into this setback. Additionally, a corner of the attached garage would encroach 2 feet into the 40-foot minimum front yard setback.

Site Data

Land Use Plan:	Low Density Residential
Existing Land Use:	Single Family Detached Residential
Zoning:	R-1: Single Family Residential
Current Lot Sizes:	0.67 Acres (29,146 square feet)
Topography:	Slopes down approximately 29 feet from northeast corner of property to Lake Johanna ordinary high water level

Senior Planner Bachler reviewed the surrounding area, the Plan Evaluation and the Variance Evaluation Criteria.

Senior Planner Bachler provided the Findings of Fact for review:

General Findings:

1. The property at 1500 Arden Place is located in the R-1 Single Family Residential Zoning District.
2. The lot is a conforming lot within the R-1 District.
3. The applicants have proposed taking down the existing dwelling on the property and constructing a new single-family dwelling and accessory storage building.
4. Based on the requirements outlined in Section 1330.03, Subd. 4 of the Zoning Code, the City has determined that the required setback for the new dwelling is 80 feet – 2 inches from the Lake Johanna OHWL.
5. The proposed principal structure would encroach 15 feet – 9 inches into the required setback from the Lake Johanna OHWL, creating a setback of 64 feet – 5 inches.
6. Section 1325.03 of the Zoning Code allows decks to extend up to 6 feet into the required structure setback. Therefore, a deck could be up to 74 feet – 2 inches from the Lake Johanna OHWL.
7. The proposed deck would encroach 15 feet – 4 inches into the setback from the Lake Johanna OHWL, creating a setback of 58 feet – 10 inches.

8. The proposed principal structure would encroach 2 feet into the front yard setback, creating a setback of 38 feet from the Arden Place property line. The minimum front yard setback in the R-1 District is 40 feet.
9. All other aspects of the proposed construction are in conformance with the Zoning Code requirements for the R-1 District.
10. The proposed construction would not encroach on any flood plains, wetlands, or easements.

Variance Findings:

11. The variance would be in harmony with the purpose and intent of the City's Code because the dwelling would be constructed in a location to minimize visual impacts on adjacent properties and protect sight lines of Lake Johanna.
12. The variance would be consistent with the City's Comprehensive Plan because it meets the City's housing goal of encouraging property reinvestment that complements and enhances the character of the City's established neighborhoods.
13. The proposed construction of a new single-family dwelling is a reasonable use of the property that would not be allowed under the rules of the Zoning Code without the requested variance.
14. The property is unique and presents development challenges because of its topography. The unique characteristics of the property were not created by the property owners.
15. The proposed dwelling would not alter the essential character of the neighborhood because it would result in a structure that is consistent and compatible with other construction in the area.
16. The requested variance does not appear to be based on economic considerations alone.

Senior Planner Bachler stated the findings of fact for this variance request support a recommendation for approval. If the Planning Commission chooses to make a recommendation for denial, the Findings of Fact would need to be amended to reflect the reasons for the denial. If the Planning Commission recommends approval of this variance, staff recommends the following six conditions:

1. The project shall be completed in accordance with the plans submitted as amended by the conditions of approval. Any significant changes to these plans, as determined by the City Planner, shall require review and approval by the Planning Commission and City Council.
2. A Grading and Erosion Control permit shall be required prior to the issuance of a Building Permit.
3. A Building Permit shall be required prior to commencement of construction.
4. The accessory structure shall have an exterior finish that is compatible in appearance and material used with the principal structure.
5. The structure shall conform to all other regulations in the City Code.
6. The property owners shall provide 17.6 caliper inches of new tree plantings per the submitted Tree Preservation Plan prior to the issuance of a final certificate of occupancy for the dwelling. Deciduous trees shall be a minimum of 2.5 caliper inches in size, and coniferous trees a minimum of 6 feet in height.

Senior Planner Bachler reviewed the options available to the Planning Commission on this matter:

1. Recommend Approval with Conditions
2. Recommend Approval as Submitted.
3. Recommend Denial
4. Table

Chair Thompson opened the floor to Commissioner comments.

Chair Thompson asked how the height of the structure was measured.

Senior Planner Bachler described how the Zoning Code requires the height of structures to be measured.

Commissioner Jones questioned if the house to the east sat lower and the house to the west sat higher than the subject property.

Senior Planner Bachler requested that the applicant address this question.

Laura Larson, 1500 Arden Place, thanked the Commission for their time. She reported the house at 1492 Arden Place was higher than her home and the home at 1516 Arden Place was also higher than her home. She indicated her home was lower than both adjacent homes. She provided further comment on the steep grade in her driveway.

Commissioner Jones expressed concern with how water runoff would be managed for the new home.

Ms. Larson stated she had completed a grading plan.

Chair Thompson requested further information on how water runoff from the roof would be managed.

Jennifer Otto, Kootenia Homes, reported the home would have gutters and downspouts along with a drain tile system. She explained the elevation of the new home would be brought up to assist with the grading concerns while also eliminating the steep grade of the driveway.

Commissioner Bartel discussed the City's impervious surface requirements noting the lot could have no more than 35% of the property covered. He was pleased that this property would only have 20% impervious coverage.

Chair Thompson indicated she lived on a low lot and had a pump to assist with removing the sewer from her home. She asked if staff was comfortable with the sewer and drainage for the site.

Senior Planner Bachler explained both the City Engineer and Building Official reviewed the plans and there were no concerns at this time. He notes a Building Permit and Grading and Erosion Control Permit would be required prior to construction.

Commissioner Neururer believed the applicant was proposing to build a beautiful home.

Commissioner Bartel was pleased to see the letters of support from the neighboring property owners.

Commissioner Hames supported the request and was thankful the applicant was requesting very minimal variances.

Chair Thompson believed the proposed home was a great use of the property. She thanked the applicant for providing the Commission with the home elevations.

Commissioner Hames moved and Commissioner Zimmerman seconded a motion to recommend approval of Planning Case 16-022 for a Variance at 1500 Arden Place based on the findings of fact and the submitted plans, as amended by the six (6) conditions in the September 7, 2016, report to the Planning Commission. The motion carried unanimously (7-0).

UNFINISHED AND NEW BUSINESS

None.

REPORTS

A. Report from the City Council

Mayor Grant updated the Planning Commission on City Council activities from the August 8, 2016 Regular Meeting, stating the City Council approved Ordinance 2016-007 in Planning Case 16-020 to opt-out of the requirements of Minnesota Statute regarding temporary family health care accessory dwellings. The Planning Commission reviewed this case at their meeting on August 3, 2016, and unanimously recommended approval of the Ordinance.

B. Rice Creek Commons (TCAAP) Update

Mayor Grant provided an update on the work sessions that had been held with the TCAAP Master Development Team on August 15th and 22nd.

Mayor Grant noted that on August 29, 2016, the City Council approved a contract with Zipko Strategies and Connelly Kuhl to serve as the communications consultants for TCAAP.

C. Commissioner Comments

Commissioner Neururer was pleased to see that the County Road E2 bridge was complete.

Commissioner Jones noted the new Mounds View High School scoreboard was now in place.

ADJOURN

Commissioner Zimmerman moved, seconded by Commissioner Hames, to adjourn the September 7, 2016, Planning Commission Meeting at 7:12 p.m. The motion carried unanimously (7-0).



ARDEN HILLS
MEMORANDUM

DATE: October 5, 2016

PC Agenda Item **3.A**

TO: Planning Commission Chair Thompson and Commissioners

FROM: Matthew Bachler, Senior Planner

SUBJECT: Planning Case #16-024 – No Public Hearing Required
Applicant: MedExpress
Property Location: 1150 County Road E West
Request: Final Planned Unit Development

Requested Action

MedExpress has requested a Final Planned Unit Development (PUD) for Phase II of the Arden Plaza Master PUD. The proposal involves the development of an approximately 4,700 square foot neighborhood medical clinic and associated site improvements at 1150 County Road E West.

Background

The City approved a Master PUD for the Arden Plaza retail center in 2009 (Planning Case 09-011). This site is situated at the southwest corner of the County Road E and Lexington Avenue intersection, and is approximately 11 acres in size. The approved plans included the demolition of an existing office complex and the phased redevelopment of the site to be completed in three stages. A total of 97,035 square feet of retail and commercial building space was approved under the original PUD. For each successive phase of the redevelopment, a Final PUD plan is required to be submitted to verify general conformance with the Master PUD and to provide more detailed development plans for the phase to be implemented.

Phase I of the Master PUD was completed in 2012 and included the construction of the Walgreens Pharmacy, modifications to parking and circulation within the retail center, and stormwater management improvements. The Tavern Restaurant on Lexington Avenue, which is currently under construction, is identified as Phase III of the Master PUD.

1. Overview of Request

MedExpress has requested a Final PUD for Phase II of the Arden Plaza Master PUD to develop Lot 2, Arden Plaza for a 4,733 square foot neighborhood medical clinic. The Master PUD Site Plan shows Phase II being developed as a 6,000 square foot commercial building (Attachment C). The proposal by MedExpress would result in an overall lower density of development on the site than what was originally approved for Phase II. The development plans are in substantial conformance with the Master PUD plans.

MedExpress operates numerous medical centers similar to the one proposed for Arden Plaza across the country, and the company is expanding its operations in Minnesota. Local medical centers have recently opened in the communities of Eden Prairie and Plymouth. MedExpress offers a broad scope of services, including urgent care, employer health services, and basic wellness and prevention services. The Arden Hills center would be open daily from 8:00 a.m. to 8:00 p.m.

The proposed site design orients the clinic towards the other buildings within the Arden Plaza retail center with the main entrance located at the southeast corner of the building. Surface parking with a total of 29 stalls would be located on the south side of the lot and would be mostly screened from County Road E by the building and landscaping improvements. Sidewalks have been provided to create pedestrian connections with the public sidewalk on County Road E and the internal retail center sidewalks.

2. Planned Unit Development (PUD) Process:

The Planned Unit Development process is a tool that provides additional flexibility for development that an underlying zoning district would not otherwise allow. For example, a PUD may make exceptions to setbacks, lot coverage, parking requirements, signage, building materials, or landscaping requirements. It is intended to overcome the limitations of zoning regulations and improve the overall design of a project. While the PUD process allows the City to negotiate certain aspects of the development, any conditions imposed on the PUD must have a rational basis related to the expected impact of the development. A PUD cannot be used to permit uses that would not otherwise be permitted in the underlying zoning district.

If a PUD is comprised of multiple lots, it is often treated as one continuous development. The development as a whole would be expected to meet the landscaping, stormwater, and other similar requirements. For example, one property in the PUD may have 60 percent building coverage, but the development as a whole may not exceed 50 percent building coverage to maintain conformance with the underlying zoning district. In order to maintain shared amenities, such as parking spaces, access drives, and stormwater ponds, the development is required to create a legal entity to manage and maintain the shared facilities.

3. Surrounding Area:

Direction	Future Land Use Plan	Zoning	Existing Land Use
North	Community Mixed Use	B-2: General Business District	Multi-Family Residential, Commercial
South	Community Mixed Use	B-2: General Business District	Commercial
East	Community Mixed Use	B-2: General Business District	Commercial
West	Community Mixed Use	B-2: General Business District	Commercial

4. Site Data:

Future Land Use Plan:	Community Mixed Use
Existing Land Use:	Vacant
Zoning:	B-2: General Business District
Lot Size:	Total Area of Master PUD: 11.02 Acres (479,991 sq. ft.) Lot 1, Arden Plaza 2 nd Addition: 0.64 acres (27,834 sq. ft.)
Topography:	Relatively flat

Plan Evaluation

1. Chapter 13, Zoning Code Review

Section 1320 – District Provisions

A. Land Use

The proposed use of the building would be classified as medical clinic under Section 1305.04 of the Zoning Code. This land use is a permitted principal use in the B-2 General Business District.

B. Lot Size, Structure Coverage, and Landscaping

The Arden Plaza Master PUD is comprised of five separate lots and individual development proposals are evaluated as if the retail center was one continuous development. The site as a whole is expected to conform to the structure and landscape coverage requirements for the B-2 District while individual lots within the PUD may exceed the underlying zoning requirements.

The maximum structure coverage permitted in the B-2 District is 45 percent. A total of 92,748 square feet of building area is approved in the Master PUD divided across the five lots, as shown in the table below. The MedExpress building would have a footprint of 4,733 square feet. This compares to the Phase II building shown in the Master PUD, which was permitted to be up to

6,000 square feet. The proposal would result in an overall reduction in structure coverage within the retail center to 81,215 square feet, or 16.9 percent of the total area of the site.

Properties in the B-2 District must have a minimum landscape lot area of 20 percent. Under the approved PUD, a minimum of 112,781 square feet is required to be landscape area. The proposal would result in a total landscape lot area of 124,187 square feet, or 25.9 percent of the the site.

	Total Area (square feet)	Structure Coverage (square feet)	Structure Coverage (percentage)	Landscape Coverage (square feet)	Landscape Coverage (percentage)
Lot 1, Arden Plaza (Walgreens Pharmacy)	76,533	14,572	19.04%	16,515	21.58%
Lot 2, Arden Plaza (Proposed MedExpress)	27,834	4,733	17.00%	7,780	27.95%
Lot 1, Arden Plaza 2 nd Addition (Tavern Restaurant)	37,732	9,500	25.18%	16,671	44.18%
Lot 2, Arden Plaza 2 nd Addition (Building #5 - Retail Center)	274,548	35,647	12.98%	76,670	27.91%
Lot 3, Arden Plaza 2 nd Addition (Building #5 - Frattallone's)	63,325	16,763	26.47%	6,551	10.37%
Total (PC #16-024)	479,972	81,215	16.92%	124,187	25.87%
Approved Master PUD	479,972	92,748	19.32%	112,781	23.50%
B-2 Zoning District Requirements			45% or less		20% or more

C. Height

The maximum height for buildings in the B-2 District is 50 feet. The proposed clinic would have a maximum height of 28 feet – 6 inches.

D. Setbacks

The minimum setbacks for a principal structure in the B-2 District are 20 feet in the front yard and rear yard, and 10 feet in each side yard. The internal lot lines within the retail center are less of a concern since the site operates as an integrated planned unit development. For this proposal, the primary concern is the setback from the public right-of-way along County Road E. The table below provides the setbacks for the proposed MedExpress building would be in conformance with all setback requirements.

	County Road E	Southern Boundary	Western Boundary	Eastern Boundary
Required	20 feet (Front)	20 feet (Rear)	10 Feet (Side)	10 Feet (Side)
Proposed	47.55 feet	137.5 feet	19.92 feet	21.26 feet

An accessory trash enclosure would be located at the northwest corner of the parking lot. Accessory structures are required to be setback a minimum of 10 feet from side and rear property lines. The trash enclosure would be located 2.92 feet from the internal side property line on the western side of the site, but greater than 10 feet from all other property lines.

Section 1325 – General Regulations

A. Landscaping - Section 1325.05, Subdivision 1

Minimum Caliper Inches

The Zoning Code requires that a minimum number of caliper inches be provided based on the gross square footage of the building. The number of caliper inches is calculated by dividing the gross square footage by 320. In this case, 14.8 caliper inches of trees are required for the site. The Landscape Plan includes 13 new tree plantings for a total of 42.5 caliper inches.

Perennials and Shrubberies

The Zoning Code requires that at least ten percent of the total landscape lot area be covered with perennials and/or shrubbery. A total of 778 square feet of plantings is required based on this provision. The applicant has proposed 1,160 square feet of perennial plantings, or 14.9 percent of the landscape lot area.

	Perennial Plantings (Percentage)	Perennial Plantings (Area)
Required	10% of landscape lot area	778 sq. ft.
Proposed	14.9%	1,160 sq. ft.

Planting Islands

The Zoning Code requires that ten percent of a surface parking area be occupied by planting islands that include a minimum of one tree planting. Parking islands must be at least 150 square feet in size. The Landscape Plan indicates that 15 percent of the parking lot area would be occupied by planting islands. Each planting area includes a minimum of one tree.

B. Lighting – Section 1325.05, Subdivision 3

The Zoning Code requires lighting to be arranged to direct light away from adjacent lots and public streets. The source of illumination must be hooded, concealed, or controlled so that only

the intended site is illuminated. The lighting proposed for the MedExpress clinic includes wall mounted light fixtures at the main entrance to the building and at the northwest corner, and two parking lot light fixtures. Staff has evaluated the design of the fixtures and determined they would conform to the Zoning Code design standards.

Any light or combination of light cannot cast light that exceeds a meter reading of 1.0 foot candle on the travel lanes of adjoining public streets. A foot candle is a measurement used to determine how much light is falling onto a surface a certain distance away from the light source. The photometric analysis indicates the exterior lighting would not result in foot candle readings of more than 1.0 within the County Road E right-of-way.

C. Screening – Section 1325.05 Subd. 4

The building would be serviced by roof-mounted mechanical operating equipment. The applicant has provided a line of site plan showing the approximate location of equipment on the roof and the visibility of the equipment from different locations around the building. The proposal includes a parapet wall along all four sides of the building, which would adequately screen the equipment from view of the adjacent public street.

Section 1325.05 Subd. 8 – B-2 District Design Standards

Building Materials

At least 75 percent of exterior building materials are required to be brick or tile masonry, stone, decorative concrete plank, or transparent glass. Accent materials may include metal, wood, split faced block, stucco, or EIFS. As proposed, approximately 74 percent of the exterior materials would be comprised of fiber cement panels designed to have the appearance of traditional brick. Most of the remaining portion of the façade area would be comprised of transparent and spandrel glass. A small area of aluminum metal is proposed as an accent material.

The applicant has provided additional information on the cement panels from the company that manufactures the building material (Attachment H). This handout highlights the benefits of the cement panels in terms of durability, performance, and aesthetics as compared to traditional brick. The applicant has also provided photographs of a MedExpress clinic that has the same exterior materials as those proposed for the Arden Hills location (Attachment G).

Building Design

The building design section includes several components. At least 50 percent of the largest building on each site is required to be constructed at the front setback line of 20 feet. In this case, the building would be located 47.5 feet from the front setback line. The location of the building is consistent with the approved Master PUD and is necessary due to a stormwater retention area located between the building and the County Road E property line.

All other requirements under this section are met by the proposal. The building would include façade treatments, such as window openings and architectural details, on all four sides of the

building. Additional visual interest has been added through façade modulation and two tower features at the northwest and southeast corners of the building. A canopy above the primary entrance would provide protection for pedestrians.

Building Color

The proposed building colors are a range of different earth tones. These colors are in conformance with the design standard requirements.

Window and Door Openings

For commercial buildings, at least 50 percent of the first level façade that fronts a public street must be comprised of transparent windows or doors. In this case, the County Road E façade is required to meet this standard. At least 20 percent of all other façades that are reasonably visible from the public right-of-way must include window or door openings. On these façades, simulated windows may be used on service areas. This standard would apply to the western and eastern building façades. The following table outlines the proposed window and door transparency for the four sides of the building.

	Transparency Requirements	Total Window Transparency
County Road E Façade	50%	10.24%
West Façade	20%	4.22%
East Façade	20%	16.25%
South Façade	0%	37.04%

The City is allowed to grant a proportional reduction in the transparent window requirement on a public street façade if additional transparent glass is used elsewhere on the building. The City may also waive transparency requirements where privacy concerns warrant.

Site Furnishing and Seating Areas

Benches and decorative plantings are required near the primary entrance of all buildings. Planting beds are proposed on the west and south side of the building adjacent to the primary entrance. No seating areas have been proposed for the development.

Screening

The Zoning Code requires that trash equipment be fully enclosed and integrated into the architecture of the building. A trash service area is proposed on the northwest side of the parking lot. This service area would be fully enclosed and constructed with the same brick cement panels used for the principal structure.

Landscaping

A minimum of one tree planting is required along the right-of-way for every 40 feet of street frontage. The approved Landscape Plan for the Master PUD does not include any additional street trees on the property along County Road E. The MedExpress Landscape Plan includes two Honey Locust trees on County Road E.

Parking

The design standards discourage placing parking between the street right-of-way and a building. No more than 50 percent of parking on a site may be placed in the side yards. The proposed parking for the clinic would be located at the rear of the site entirely behind the building. No parking stalls would be located between the building and right-of-way or in the side yard areas.

Pedestrian Circulation

Sites must be designed to accommodate the safe mobility of pedestrians to and within the site. The proposed site plan includes a sidewalk that connects the primary entrance to the sidewalk on the west side of the County Road E access drive. A sidewalk would also be provided along the south end of the property to connect with the internal pedestrian walkways for the retail center.

Bicycle Parking

For commercial properties, one bicycle parking space is required for every 20 automobile parking spaces. However, a minimum of two bicycle parking spaces are required. In this case, two bicycle parking spaces would be required. The applicant has included two bicycle racks that could accommodate up to four bicycles located on the west side of the building close to the primary entrance. The proposed bicycle parking meets the City's requirements in terms of its design and location.

Section 1325.06, Subd. 1 – Off-Public Street Parking

Location

Parking stalls are required to be located a minimum of 5 feet from any side or rear lot line, and 20 feet from the public right-of-way line. As proposed, the surface parking lot would be located 2.92 feet from both the west and east side property lines, and 11.82 feet from the rear property line. The proposed location for the parking is consistent with the approved Master PUD.

Off Street Parking Spaces Required

Off-street parking requirements are determined by the type of land use proposed for a site. For medical clinics, one parking stall is required for every professional employed at the site and one stall for each 200 square feet of gross floor area. MedExpress expects to have up to 7 employees on site at any given time. Based on this and the proposed gross floor area, 31 stalls would need to be provided. A total of 29 stalls are proposed for the site. An existing Reciprocal Easement Agreement covers the separate lots within the retail center and provides for shared parking across the entire site. With the completion of Phase II, there would be a total of 434 parking stalls in the retail center that could be used by MedExpress patients.

2. Chapter 12 – Sign Code

The property at 1150 County Road E West is located in Sign District 4, which applies to properties with frontage on County Road E. However, as part of the Master PUD approval the entire retail center was designated as being within Sign District 5, which includes properties with frontage on Lexington Avenue south of Interstate 694. MedExpress would be permitted up to 80 square feet of wall signage and a total of 200 square feet of signage is proposed. The north and south building elevations would each have 71.5 square feet of wall signage, and the west elevation would have 57 square feet. No additional freestanding signage is proposed for the property. MedExpress has provided a separate sign plan for the building (Attachment E).

3. Traffic Study and Transportation Improvements

A traffic study was completed in 2007 that evaluated the full build-out of the Arden Plaza retail center. An additional study was completed in 2008 in conjunction with the B-2 District Guiding Plan that looked at the redevelopment of Arden Plaza in addition to other development opportunities along the County Road E corridor. The Phase II development proposal is in substantial conformance with the development scenarios evaluated in these traffic studies and an additional study was not requested at this time. The application does not propose any alterations to the internal circulation plan as shown in the previously approved Master PUD.

Additional Review

City Engineer

The City Engineer has reviewed the submitted plans and did not have any additional comments at this time. A Grading and Erosion Control Permit will be required prior to the issuance of a Building Permit.

Building Official

The City Building Official has reviewed the submitted plans and did not have any additional comments at this time.

Ramsey County Public Works Department

The Ramsey County Public Works Department has reviewed the plans and noted that a County Right-of-Way Permit would be required for any work associated with the development completed in the County Road E right-of-way.

Lake Johanna Fire Department

The Lake Johanna Fire Marshal has completed a preliminary review of the plans. Final plans will be subject to approval by the Fire Marshall prior to the issuance of a Building Permit

Rice Creek Watershed District

MedExpress is currently in the process of submitting a permit application with the Rice Creek Watershed District (RCWD). A RCWD permit will be required prior to the issuance of any City development permits.

Discussion

The main areas where the development deviates from the City Code are in terms of the proposed building materials, façade transparency, and signage. The development would exceed the City's minimum requirements for caliper inches of new tree plantings, the percent of landscape lot area comprised of perennials or shrubbery, and the percent of the parking lot occupied by parking islands.

While the B-2 District Design Standards discourage the use of simulated brick concrete panels, the specific product that is proposed for the MedExpress building would be very durable and have an appearance indistinguishable from traditional brick. Staff believes in this case the proposed material should be accepted as an alternative to the required brick masonry.

The Design Standards allow the City to reduce or waive façade transparency requirements where privacy concerns warrant. The use of the building as a medical clinic presents privacy concerns for patients, and the proposed reduction in window transparency is therefore reasonable. The proposed building design still includes simulated windows on all façades to add visual interest to the building.

Staff is supportive of some flexibility for the amount of wall signage, but believes the proposed 200 square feet is excessive. Additional signage is reasonable in this case given the orientation of the building. The location and amount of signage is needed to adequately identify the building and direct patients to the clinic. The City has granted flexibility through the PUD process in the past for additional wall signage for developments with similar orientation, including the Walgreens Pharmacy and the Lexington Station development. Walgreens was allowed a total of 156 square feet of wall signage, and the two end cap tenants at Lexington Station (Starbucks and Noodles & Company) were each permitted 140 square feet of signage. The staff recommendation is to allow MedExpress a maximum of 150 square feet of wall signage. A condition of approval has been included to limit wall signage to this amount.

Findings of Fact

Staff offers the following thirteen (13) findings of fact for consideration:

1. MedExpress has requested approval of a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West.

2. The original Master PUD for the development was approved in Planning Case #09-011. Subsequent PUD Amendments were approved in Planning Case #11-016 and Planning Case #15-002.
3. The applicant has proposed to construct a 4,733 square foot neighborhood medical clinic and associated site improvements.
4. The development proposal is in substantial conformance with the approved Arden Plaza Master PUD and the site improvement requirements contained therein.
5. The Arden Plaza retail center and the Phase II development site are located in the B-2 General Business District.
6. The City has adopted the Guiding Plan for the B-2 District that outlines future development principals for the area.
7. The City has adopted Design Standards for the B-2 District within the Zoning Code.
8. The Final PUD for Phase II is in substantial conformance with the requirements of the City Code.
9. The Final PUD for Phase II is in substantial conformance with the Guiding Plan for the B-2 District.
10. The Final PUD for Phase II is in conformance with the City's Comprehensive Plan.
11. The PUD process allows for flexibility within the City's regulations through a negotiated process with a developer.
12. Where the plan is not in conformance with the City Code, flexibility has been requested by the applicant and/or conditions have been placed on an approval that would mitigate the nonconformity.
13. The application is not anticipated to create a negative impact on the immediate area or the community as a whole.

Recommendation

Based on the submitted plans and findings of fact, staff recommends approval of Planning Case 16-024 for a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West. If the Planning Commission votes to recommend approval of Planning Case 16-024, staff is recommending the following seventeen (17) conditions of approval:

1. The Developer shall continue to abide by the conditions of all previous Master PUD Agreements, permits, and reviews, except as hereinafter amended.
2. The project shall be completed in accordance with the submitted plans as amended by the conditions of approval. Any significant changes to these plans, as determined by the City Planner, shall require review and approval by the Planning Commission and the City Council.
3. The Developer shall obtain a Building Permit within one year of the Final PUD approval or the approval shall expire, unless extended by the City Council prior to the approval's expiration date. Extension requests must be submitted in writing to the City at least 45 days prior to the expiration date.

4. A Development Agreement shall be prepared by the City Attorney and subject to City Council approval. The agreement shall be executed prior to the issuance of any development permits.
5. Prior to the issuance of any development permits, a copy of all necessary supplemental declarations between MedExpress and Arden Plaza, LLC addressing site operation issues, including but not limited to driveway maintenance, shared parking, and drainage, shall be provided to the City.
6. The Developer shall submit a financial surety in the amount of 125 percent of the estimated costs of site improvements including grading, utilities, and paving, prior to the issuance of any development permits. The financial surety shall be in the form of a letter of credit issued by a FDIC-insured Minnesota bank, and be in a form acceptable to the City. The purpose of the letter of credit is to ensure that site improvements are completed in the event that the developer defaults on the Development Agreement.
7. The Developer shall submit a cash escrow in the amount of 25 percent of the estimated costs of site improvements including grading, utilities, and paving, prior to the issuance of any development permits. The escrow will be used for City costs related to review, approval, and inspection of site improvements or any costs incurred by the City in the event of a developer default.
8. The Developer shall submit a financial surety in the amount of 125 percent of the estimated costs of landscaping prior to the issuance of any development permits. The financial surety shall be in the form of a letter of credit issued by a FDIC-insured Minnesota bank. The purpose of the letter of credit is to ensure that landscaping is completed in the event that the developer defaults on the Development Agreement. The City will hold the letter of credit for two years after the installation of landscaping. The letter of credit should not expire during the two-year period.
9. The Developer shall submit a cash escrow in the amount of 25 percent of the estimated costs of landscaping prior to the issuance of any development permits. The escrow will be held by the City for two years after installation of landscaping and used for City costs related to review, approval, and inspection of landscaping, or developer default.
10. Final construction plans shall be subject to approval by the Building Official and Fire Marshall prior to the issuance of a Building Permit.
11. The Developer shall provide the City with a copy of the Rice Creek Watershed District permit for the project prior to the issuance of any development permits.
12. A Grading and Erosion Control Permit will be required prior to the issuance of a Building Permit. The Developer shall be required to demonstrate that the existing stormwater system for Arden Plaza is adequate to accommodate the additional runoff that will result from the development.
13. The Developer shall obtain a Right-of-Way Permit from Ramsey County for any construction work required for the development within the County Road E right-of-way.
14. The building shall be permitted no more than a total of 150 square feet of wall signage.
15. All roof-mounted mechanical equipment shall be screened from ground-level view of public streets. Wood screening shall not be permitted.
16. Trash service enclosure shall be fully enclosed and constructed with the same brick fiber cement panel used for the principal structure.

17. All spandrel glass used on the building shall be light grey or other color that closely matches the appearance of the transparent glass being used.

Proposed Motion Language

1. **Recommend Approval with Conditions:** Motion to recommend *approval* of Planning Case 16-024 for a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West based on the findings of fact, submitted plans, and the seventeen (17) conditions in the October 5, 2016, Report to the Planning Commission.
2. **Recommend Approval without Conditions:** Motion to recommend *approval* of Planning Case 16-024 for a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West based on the findings of fact and submitted plans in the October 5, 2016, Report to the Planning Commission
3. **Recommend Denial:** Motion to recommend *denial* of Planning Case 16-024 for a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West based on the following findings of fact: *findings to deny should specifically reference the reasons for denial and why those reasons cannot be mitigated.*
4. **Table:** Motion to *table* Planning Case 16-024 for a Final PUD for Phase II of the Arden Plaza Master PUD at 1150 County Road E West for the following reasons: *a specific reason and/or information request should be included with a motion to table.*

Notice

The City Code does not require a public hearing for Final PUD applications. However, notice of the application and public meeting was prepared by the City and mailed to property owners within 500 feet of the subject property.

Public Comments

Staff has not received any letters, e-mails, or telephone calls from property owners or residents in regards to this planning case.

Deadline for Agency Actions

The City of Arden Hills received the completed application for this request on September 23, 2016. Pursuant to Minnesota State Statute, the City must act on this request by November 22, 2016 (60 days), unless the City provides the petitioner with written reasons for an additional 60

City of Arden Hills

Planning Commission Meeting for October 5, 2016

P:\Planning\Planning Cases\2016\PC 16-024 - Arden Plaza - 1150 County Road E - Final PUD\Memos_Reports_16-024

day review period. The City may, with the consent of the applicant, extend the review period beyond the initial 120 days.

Attachments

- A. Land Use Application
- B. Site and Aerial Maps
- C. Arden Plaza Master PUD Site Plan
- D. Plan Set
- E. Signage Plan
- F. Fire Truck Turning Movement Exhibit
- G. Example Photographs of MedExpress Clinic
- H. Nichia Fiber Cement Panel Product Information



1245 West Highway 96
 Arden Hills, Minnesota 55112
 Telephone (651) 792-7800
 Fax (651) 634-5137
 www.cityofardenhills.org

For Office Use Only	
Planning Case No.	16-024
Submission Date	9/6/16
Application Completed Date	
Accepted by	MWB
Receipt Number	#864079
Council Decision	
Council Decision Date	

2016 LAND USE APPLICATION

Applicant Information

Applicant: **MedExpress** Attn: Zach Appman

Address: 370 Southpointe Blvd., Suite 100

Telephone No.: 724-597-6430 Other: Cell: 724-263-5664

Fax No.: 724-743-9133

Email Address: zachary.appman@medexpress.com

Property Information

Property Owner: **MECU Arden Hills, LLC** Attn: Harley Carroll

Owner Address: P.O. Box 83027 Gaithersburg, MD 20883

Owner Telephone No. 301-519-1900 Other:

Address of Property Involved: 1150 County Road E W

Legal Description: Lot 2, Block 1

Property ID No.: 34.30.23.11.0098

Type of Use: **B - Business**

Zone: **B-2 District (County Road E)** Property Acreage: **.639 Acres**

Type of Request

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Comprehensive Plan Amendment (Fee: \$500 + Escrow: \$1,000) <input type="checkbox"/> Conditional Use or Interim Use Permit/CUP or IUP Amendment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Preliminary Plat (Fee: \$500 + Escrow: \$1,000) <input type="checkbox"/> Final Plat (Fee: \$500 + Escrow: \$1,000) <input type="checkbox"/> Concept Plan Review (Fee: \$150 + Escrow: \$1,000) <input type="checkbox"/> Master Planned Unit Development or Master Special Development Plan (Fee: \$350 + Escrow: \$1,000) <input checked="" type="checkbox"/> Final Planned Unit Development or Final Special Development Plan (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Planned Unit Development Amendment or Special Development Plan Amendment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Site Plan Review (Fee: \$350 + Escrow: \$1,000) | <ul style="list-style-type: none"> <input type="checkbox"/> Rezoning or TCAAP Regulating Plan Amendment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Zoning Code or TCAAP Redevelopment Code Amendment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> City Code Amendment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Lot Split/Minor Subdivision (R-1 and R-2 Districts Only) (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Variance or Permitted Adjustment (Fee: \$350 + Escrow: \$1,000) <input type="checkbox"/> Vacation of Easement or Right-of-Way (Fee: \$150 + Escrow: \$1,000) <input type="checkbox"/> Appeal of Administrative Decision (Fee: \$150 + Escrow: \$1,000) <input type="checkbox"/> Land Use Requests – Not Already Specified (Fee: \$150 + Escrow: \$1,000) |
|--|---|

Brief Description of Request (please also include a typed, detailed letter explaining the project):

Construction of a new 4,732 sq. ft. building with associated site and parking
lot improvements.

IMPORTANT

- Certain applications are subject to review and approval by the Rice Creek Watershed District. Contact RCWD directly at 763-398-3070 for additional information.
- The land use application fees do not cover building, sign, or other permit fees that may be required upon approval of a land use application.
- All applications will be subject to additional fees for reimbursement of consultant costs associated with filing, reviewing, and processing of application in the form of an escrow to the City.

Filing & Information Requirements

The City requests that you make a pre-application meeting with the City Planner to discuss the application process, requirements, and deadlines. Unless waived by the City Planner or Planning Commission, a certified survey of the property is required for all applications. A checklist with additional application requirements can be found at www.cityofardenhills.org/landuseapplications.

Complete/Incomplete Applications

An incomplete application will delay the processing of land use requests. The application approval time commences and an application is considered officially filed when the City Planner has received and examined the application and determined that the application is complete. A decision on whether the application is complete or incomplete shall be made within fifteen (15) working days following the submittal of the application. When the application is deemed to be "complete" it shall be placed on the agenda of the first possible Planning Commission meeting provided that all required public notices have been sent and published.

Payment of Fees and Escrows

The undersigned acknowledges that she/he understands that before a land use application can be deemed complete, all required fees and escrows must be paid to the City. Each separate land use request shall be charged a separate administrative fee and escrow even if submitted on the same application. Costs expended in reviewing and processing an application will be charged against the cash escrow and credited to the City. Charges to the escrow may include planning and engineering staff time, City Attorney and consulting fees, and mailing costs. If, at any time, a required cash escrow is depleted to less than 20 percent of its original amount, the applicant shall deposit additional funds in the cash escrow account as determined by the City. The City may withhold final action on a land use application, withhold building permits, and/or rescind prior action until all fees have been paid. Unused portions of an escrow are returned to the applicant upon successful implementation of an approved plan. The escrow may be reduced or increased by the City Planner on a project by project basis.

Notice of Meeting Attendance

In order for the Planning Commission and the City Council to consider any application, the applicant or a designated representative must be present at the scheduled meeting. If not, the matter may be tabled until the next available agenda.

Agenda Deadline and Meeting Schedule

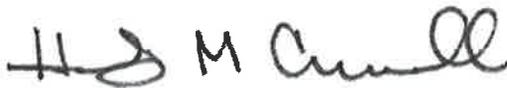
The deadline for submittal of land use applications is required according to the schedule outlined below. There are **no exceptions**. Failure to submit all application materials by the deadline date may delay the review process. Planning Commission meetings are typically held on the first Wednesday after the first Monday of each month at 6:30 PM, though please contact City Hall to verify the meeting date and time. City Council meetings are held typically the last Monday of the same month at 7:00 PM. Meetings are held in the Council Chambers at the City of Arden Hills, 1245 West Highway 96, Arden Hills, Minnesota 55112, unless otherwise stated. Applicants are advised that additional meetings and/or workshops are scheduled when necessary upon approval of the Planning Commission.

2016 SCHEDULE (*subject to change)

APPLICATION DEADLINE DATE*	TENTATIVE PLANNING COMMISSION MEETING DATE* (Generally held on the first Wednesday after the first Monday at 6:30 p.m.)	TENTATIVE CITY COUNCIL MEETING DATE* (Generally held on the last Monday at 7:00 p.m.)
December 7 (2015)	January 6	January 25
January 4	February 3	February 29
February 1	March 9	March 28
March 7	April 6	April 25
April 4	May 4	May 31
May 2	June 8	June 27
June 6	July 6	July 25
July 5	August 3	August 29
August 1	September 7	September 26
September 6	October 5	October 31
October 3	November 9	November 28
November 7	December 7	December 27
December 5	January 4 (2017)	January 30 (2017)

Acknowledgement and Signature

I acknowledge that I have read all of the information listed in the City of Arden Hills Land Use Application and fully understand that I am responsible for all costs incurred by the City related to the processing of this application.



Property Owner Signature (Required)

August 10, 2016

Date



Applicant Signature (If different than the property owner)

8/18/16

Date

Please contact the City Planner at 651-792-7800 if you have any questions regarding this application.

Additional copies of this application form are available on the City's website: www.cityofardenhills.org/landuseapplications



1305 NE McClain Road, Suite 7
Bentonville, Arkansas 72712-3839
(479) 271-8058
www.cesoinc.com

September 22, 2016

Matthew Bachler, Associate Planner
City of Arden Hill
Community Development Department
1245 W. Highway 96
Arden Hills, MN 55112
651-792-7822

RE: MedExpress ground-up (752647-01)
1150 County Road E.
Arden Hills, MN

Dear Mr. Bachler,

Please accept the enclosed sixteen (16) 11x17 sets and one (1) full size set of signed and sealed construction plans, proposed signage package, fire truck movement exhibit, example pictures, and staff comment letter with responses, as formal submission for Planning Commission Review for the above referenced project. This project consists of a ground-up 4,713 S.F. single story medical clinic and has an estimated construction cost of \$450,000 (excluding finishes). The estimated time frame for construction is approximately 6 months; January, 2017 to June, 2017.

This submission addresses all previously received staff comments, and is also a formal request for additional signage square footage based off the included proposed signage package. Please contact us at (479) 321-3224 if you are aware of any additional items that you would like prior to the meeting.

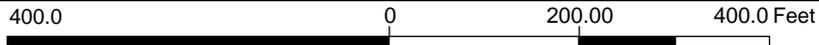
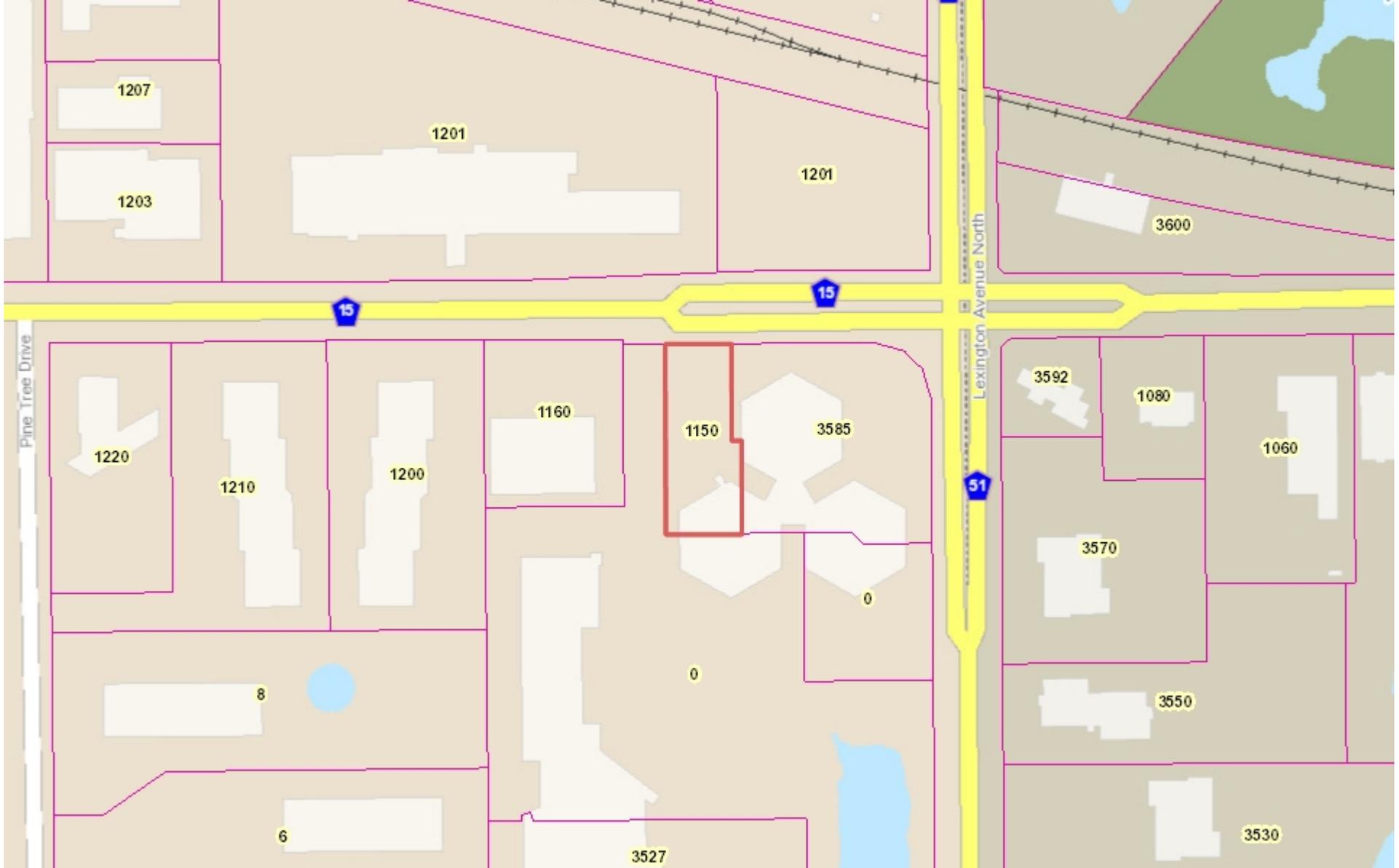
Thank you for your review of this project. If we may be of any assistance during your review process, please do not hesitate to contact us.

Sincerely,

Richard D. Coffel II, Project Manager

Enclosures

cc: Zachary Appman MedExpress , via email
File

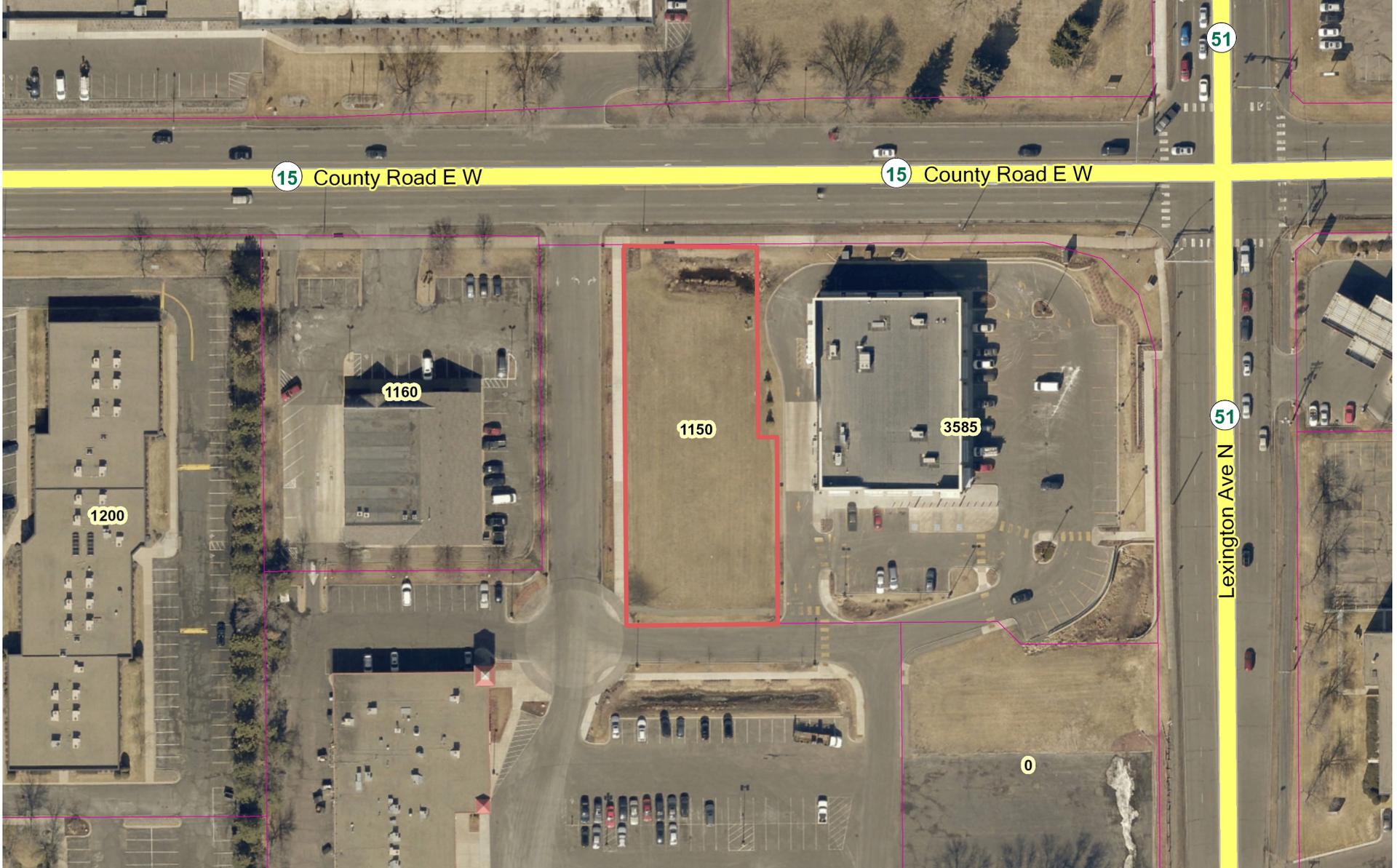


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THIS MAP IS NOT TO BE USED FOR NAVIGATION

1:2,400





200.0 0 100.00 200.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet
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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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1:1,200



Description:	No:	By:	Date:
City Submittal	0	PDS	07/6/15
City Comments	1	PDS	07/24/15
Watershed Comments	2	GAS	08/14/15

HEMISPHERE

RESTAURANT PARTNERS
 1501 S Washington Ave
 Minneapolis, MN 55454
 Phone: (612) 238-2166

The Tavern Grill
 RESTAURANT + BAR
 ARDEN HILLS, MN

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Gretchen A. Schroeder
 Date: 08/14/15 License No. 43019

OVERALL PUD SITE PLAN

Sheet Title:	
Project No:	000682.00
Drawn By:	RAH
Project Manager:	PDS
Designer:	PDS/GAS
Reviewed By:	PDS/GAS
Approved By:	PDS/GAS

CS-03

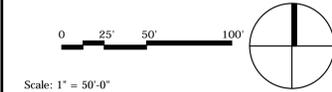
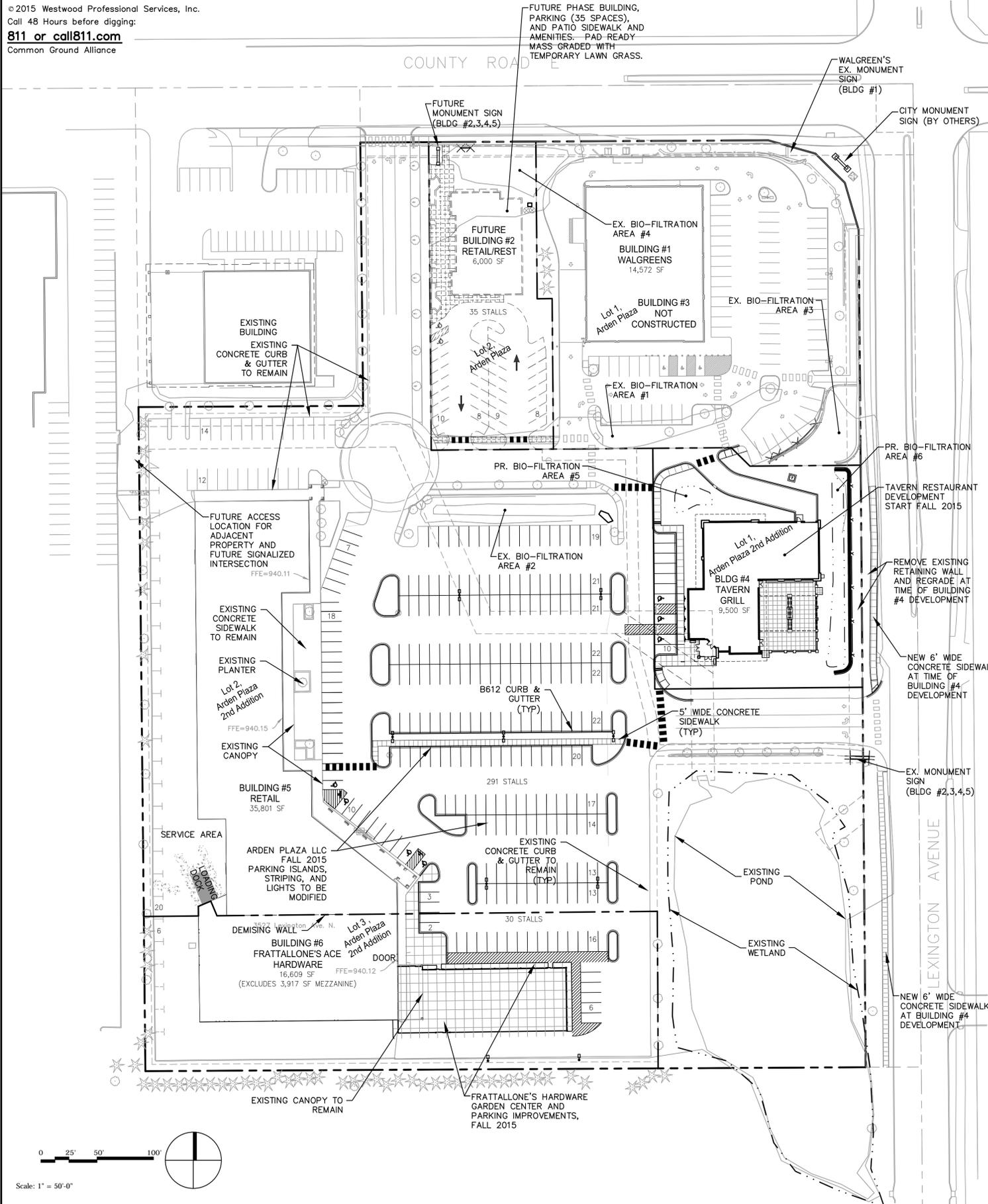
ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS. THE PROJECT MANAGER SHALL BE NOTIFIED BY WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
 © NELSON 2015 ALL RIGHTS RESERVED

Site Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		NUMBER OF PARKING STALLS
		FUTURE DEVELOPMENT

Site Development Summary

- EXISTING ZONING: PLANNED UNIT DEVELOPMENT
- PARCEL DESCRIPTION/PLAT NAME: ARDEN PLAZA
- PROPERTY AREA:
 EXISTING PROPERTY AREA: 479,991 SF (11.02 AC)
- PARCEL AREA (NET PROPERTY AREA):
 LOT 1, AP (WALGREENS, BLDG #1): 76,533 SF (1.76 AC)
 LOT 2, AP (FUTURE BUILDING #2): 27,853 SF (0.64 AC)
 LOT 1, AP 2ND ADD. (TAVERN, BLDG #4): 37,732 SF (0.87 AC)
 LOT 2, AP 2ND ADD. (STRIP, BLDG #5): 274,548 SF (6.30 AC)
 LOT 3, AP 2ND ADD. (FRAT, BLDG #6): 63,325 SF (1.45 AC)
- IMPERVIOUS SURFACE MAXIMUM:
 2012 APPROVED IMPERVIOUS: 80.0% (385,216/481,520)
 2015 APPROVED IMPERVIOUS: 77.1% (367,210/481,520)
 2015 APPROVED IMPERVIOUS: 76.3% (365,945/479,991) (TAVERN=74.2% (356,361/479,991))
 2015 APPROVED PERVIOUS (LANDSCAPE): 23.7% (114,046/479,991) (TAVERN=25.8% (123,630/479,991))
 TAVERN GREEN SPACE (LOT 1, AP2): 16,671 SF (4.18%, PER LOT)
- BUILDING GROSS SIZE:
 #1 WALGREENS: 14,572 SF
 #2 FUTURE RETAIL/REST: 6,000 SF
 #3 NOT CONSTRUCTED: 0 SF
 #4 FUTURE RETAIL: 20,136 SF (TAVERN=9,500 SF)
 #5 EXISTING RETAIL: 35,647 SF
 #6 FRATTALLONE'S ACE HARDWARE: 16,763 SF
 #6 FRATTALLONE'S MEZZANINE: 3,917 SF
- 2009 PUD APPROVED BUILDING GROSS SIZE: 97,035 SF
- FLOOR-AREA-RATIO(FAR) MAXIMUM: 0.80
 FLOOR-AREA-RATIO(FAR) PROVIDED: 0.20 (94,307/479,991)
 STRUCTURE LAND COVER MAXIMUM: 45%
 STRUCTURE LAND COVER PROVIDED: 18.8% ((94,307-3,917 MEZZANINE)/479,991)
- LANDSCAPE IN PARKING AREA REQUIRED: 10%
 LANDSCAPE IN PARKING AREA PROVIDED: 9.5% (10.5% PROVIDED IN 2009 PUD MASTER SITE PLAN)
- BUILDING SETBACK PER CODE:
 20'=FRONT
 10'=SIDE / 20'=SIDE TO ROW
 20'=REAR
- PARKING SETBACK:
 20'=FRONT AND ROW, OR PER PUD
 5'=SIDE AND REAR
- PARKING DIMENSIONS REQUIRED:
 9' WIDE X 18' LONG
- PARKING DIMENSIONS PROVIDED:
 9' WIDE X 18' LONG, 25' AISLE
- PARKING PROVIDED (WITH CROSS PARKING):
 2015 PUD APPROVED PARKING (WITH CROSS PARKING): 440 SPACES (4.53/1000)
 2009 PUD APPROVED PARKING (WITH CROSS PARKING): 440 SPACES (4.85/1000)
 2015 PUD APPROVED PARKING (WITH CROSS PARKING): 455 SPACES (4.85/1000)



7/23/2015 9:50:34 PM P:\000682.00.dwg\Civil\00068200.pud

NEW CONSTRUCTION AT 1150 COUNTY ROAD E ARDEN HILLS, MINNESOTA 55112 FOR MEDEXPRESS 1751 EARL CORE ROAD MORGANTOWN, WEST VIRGINIA 26505

ces **5 hW a Ybh8**
CREATION TO COMPLETION (FAX) 479-271-0621
CONTACT: BENJAMIN T. BELL
bell@cesoinc.com

ENGINEERS

MEP ENGINEERS: WHS ENGINEERING CONTACT: WILLIAM SHEPARDSON EOR MECHANICAL CONTACT: GREGORY SUTYAK EOR ELECTRICAL 2012 WEST 25TH ST., SUITE 200 CLEVELAND, OHIO 44113 PHONE: 216-227-8505 bill@whs-eng.com greg@whs-eng.com	STRUCTURAL ENGINEERS: AMBROSE ENGINEERING, INC. CONTACT: BOB STECKEL P.E., S.E. W66 N215 COMMERCE CT CEDARBURG, WI 53012 PHONE: 262-377-7602 FAX: 262-377-4868 bob.steckel@ambeng.com	CIVIL ENGINEERS: CESO CONTACT: JEFFREY TIBBITTS, P.E. 2800 CORPORATE EXCHANGE DRIVE, SUITE 160 COLUMBUS, OHIO 43231 PHONE: 614-942-3016 FAX: 614-794-4492 tibbitts@cesoinc.com	PANEL MANUFACTURER: CUSTOM PREFAB CONTRACTORS, INCORPORATED (CPC) CONTACT: DENNIS HOLISKY 10876 MARKET STREET NORTH LIMA, OH 44452 PHONE: 330-565-4782 FAX: 330-549-3072 d.holisky@hotmail.com
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CODE INFORMATION

BUILDING CODE: 2015 MINNESOTA BUILDING CODE ELECTRICAL CODE: 2005 NATIONAL ELECTRICAL CODE MECHANICAL CODE: 2000 MINNESOTA MECHANICAL CODE PLUMBING CODE: 2015 MINNESOTA PLUMBING CODE FIRE CODE: MINNESOTA ADMINISTRATIVE RULES, CH. 1306.0020(3) ACCESSIBILITY CODE: 2015 MINNESOTA ACCESSIBILITY CODE ENERGY CODE: 2015 MINNESOTA ENERGY CODE	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: left;">CONSTRUCTION TYPE</th> <th style="text-align: right;">TYPE VB, SPRINKLERED</th> </tr> <tr> <td>STRUCTURAL FRAME - BEARING WALL</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>INTERIOR</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>EXTERIOR</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>NONBEARING WALLS AND PARTITIONS</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>INTERIOR</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>EXTERIOR</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>FLOOR CONSTRUCTION</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <td>ROOF CONSTRUCTION</td> <td style="text-align: right;">0 HOURS</td> <td></td> </tr> <tr> <th colspan="2" style="text-align: left;">USE GROUP</th> <th style="text-align: right;">B</th> </tr> <tr> <td>FIRE SUPPRESSION</td> <td style="text-align: right;">YES</td> <td></td> </tr> <tr> <td>BUILDING FLOOR AREA</td> <td style="text-align: right;">4,733 S.F.</td> <td></td> </tr> <tr> <td>ALLOWED AREA PER FLOOR</td> <td style="text-align: right;">9,000 S.F.</td> <td></td> </tr> <tr> <td>BUILDING HEIGHT</td> <td style="text-align: right;">28'-6" FEET (@ High Point)</td> <td></td> </tr> <tr> <td>ALLOWED BUILDING HEIGHT</td> <td style="text-align: right;">40'-0" FEET</td> <td></td> </tr> <tr> <td>BUILDING HEIGHT STORIES</td> <td style="text-align: right;">1 STORIES</td> <td></td> </tr> <tr> <td>ALLOWED BUILDING HEIGHT IN STORIES</td> <td style="text-align: right;">2 STORIES</td> <td></td> </tr> <tr> <td>OCCUPANCY (1 PER 100 S.F.)</td> <td style="text-align: right;">48 PERSONS</td> <td></td> </tr> <tr> <td>SEATING AREA: INCLUDES SEATING, ACCESSIBLE TOILET & TRIAGE</td> <td style="text-align: right;">18 PERSONS</td> <td></td> </tr> <tr> <td colspan="3"> CLINICAL AREA: ACTUAL NUMBER OF OCCUPANTS: (AS PER 2015 MNBC 1004, EXCEPTION) EXCLUDES SEATING, ACCESSIBLE TOILET & TRIAGE </td> </tr> <tr> <td>7 EXAMS WITH 2 PERSONS STAFF</td> <td style="text-align: right;">14 16 30 PERSONS</td> <td></td> </tr> </table>	CONSTRUCTION TYPE		TYPE VB, SPRINKLERED	STRUCTURAL FRAME - BEARING WALL	0 HOURS		INTERIOR	0 HOURS		EXTERIOR	0 HOURS		NONBEARING WALLS AND PARTITIONS	0 HOURS		INTERIOR	0 HOURS		EXTERIOR	0 HOURS		FLOOR CONSTRUCTION	0 HOURS		ROOF CONSTRUCTION	0 HOURS		USE GROUP		B	FIRE SUPPRESSION	YES		BUILDING FLOOR AREA	4,733 S.F.		ALLOWED AREA PER FLOOR	9,000 S.F.		BUILDING HEIGHT	28'-6" FEET (@ High Point)		ALLOWED BUILDING HEIGHT	40'-0" FEET		BUILDING HEIGHT STORIES	1 STORIES		ALLOWED BUILDING HEIGHT IN STORIES	2 STORIES		OCCUPANCY (1 PER 100 S.F.)	48 PERSONS		SEATING AREA: INCLUDES SEATING, ACCESSIBLE TOILET & TRIAGE	18 PERSONS		CLINICAL AREA: ACTUAL NUMBER OF OCCUPANTS: (AS PER 2015 MNBC 1004, EXCEPTION) EXCLUDES SEATING, ACCESSIBLE TOILET & TRIAGE			7 EXAMS WITH 2 PERSONS STAFF	14 16 30 PERSONS	
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JOB NO. 752647-01

AUGUST 19, 2016

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C3.2	SWPPP DETAILS
C4.0	SITE PLAN
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INFO-3	SHIELDING AND EQUIPMENT LAYOUT

LOCATION MAP

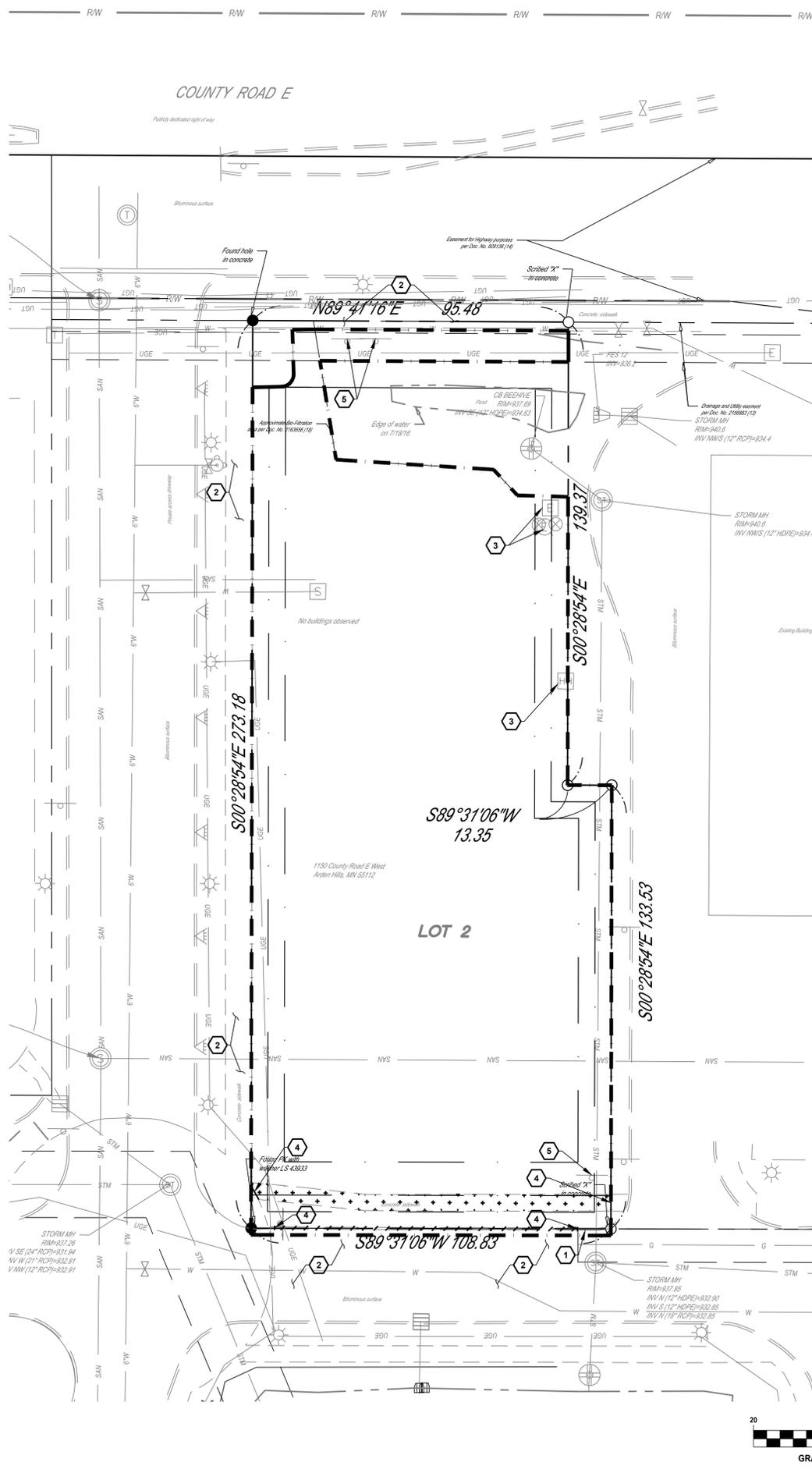


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1150 COUNTY ROAD E
ARDEN HILLS, MINNESOTA 55112

AWNING/SIGNAGE CONSULTANT: EGAN SIGN CONTACT: KEVIN AGOSTINHO 522 WILLOW STREET READING, PA. 19602 PHONE: 910-551-0238 kevin.agostinho@egansign.com	NICHIHA EXTERIOR PANELS: NICHIHA USA, INC. CONTACT: MATT STEPHENSON NATIONAL COMMERCIAL ACCOUNTS PROJECT COORDINATOR 6659 PEACHTREE INDUSTRIAL BLVD. NORCROSS, GEORGIA 30092 PHONE: 770-805-9466 FAX: 770-805-9467 mstephenson@nichiha.com	STEEL FABRICATOR: DAVISON MANUFACTURING, LLC CONTACT: BOB DAVISON 136 NELSON ROAD ROUTE 380 AVONMORE, PA. 15618 PHONE: 724-697-5238 CELL: 724-602-6754 FAX: 724-697-4844 bob_davison51@yahoo.com	VCT & CEILING: ARMSTRONG CONTACT: LOCAL ARMSTRONG DISTRIBUTOR ASK FOR MedExpress CSA PRICING FOR ASSISTANCE CONTACT CUSTOMER FOCUS CENTER ARMSTRONG CSA CFC PHONE: 800-442-4212 OPTION 1 armstrongcsa@armstrong.com
CASEWORK: DOVER CABINETS CONTACT: JOHN PERKOWSKI DOVER, OH PHONE: 330-204-9497 dover.cabinet@gmail.com	X-RAY: MedServ Plus CONTACT: RUSS NATION PHONE: 866-705-7790 CELL: 724-622-8830 rnation@medservplus.net	LIGHTING: CITY LIGHTING CONTACT: JASON HUTSON PITTSBURGH, PA PHONE: 800-257-2922 FAX: 412-366-7609 jhutson@citylighting.com	STOREFRONT & DOOR: YKK AP CONTACT: IVAN ZUNIGA CINCINNATI, OH PHONE: 678-838-6092 ivanzuniga@ykkap.com
SECURITY/FIRE ALARM: INTERTECH SECURITY CONTACT: BRIAN MADERAS 1501 PREBLE AVENUE PITTSBURGH, PA 15233 PHONE: 412-246-1200 bmaderas@intertechsecurity.com	LUXURY VINYL TILE: TANDUS-CENTIVA CUSTOMER SERVICE CONTACT: TERESA TANNER PHONE: 800-241-4902, EXT. 3307 FAX: 256-760-1763 ttanner@tandus-centiva.com		

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.			
Signature: <i>Benjamin T. Bell</i> Type or Printed Name: BENJAMIN T. BELL Date: 09/22/2016 License Number: 53153			
NO.	PR #1 PLAN REVIEW COMMENTS	REVISION	DATE

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DEMOLITION PLAN GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF FREMONT, AND ALL UTILITY PROVIDERS LOCATED ON-SITE AND IN THE RIGHT OF WAY.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK PER THE CITY OF FREMONT PROJECT SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL NEBRASKA ONE CALL AND THEN TO CONTACT ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED AND/OR RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEBRASKA DEPARTMENT OF ROADS REGULATIONS, AND THE CITY OF FREMONT PROJECT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL, IN A LOCATION APPROVED BY THE GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS. AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL PROVIDE SAFETY RAILINGS AT ALL AREAS WHERE FALL PROTECTION IS REQUIRED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- SAWCUT AND REMOVE TO FULL DEPTH AT ALL PAVEMENT/SIDEWALK LIMITS OR TO EXISTING JOINTS.
- CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- EXTENT OF DEMOLITION WORK IS NOT LIMITED TO ONLY WHAT IS SHOWN TO BE DEMOLISHED ON THIS PLAN. DEMOLITION WORK MUST BE COMPLETE SO THE PROPOSED STRUCTURES AND APPURTENANCES CAN BE CONSTRUCTED.
- ALL POTENTIALLY HAZARDOUS/TOXIC MATERIALS MUST BE REMOVED FROM THE SITE PRIOR TO DEMOLITION, AND PER DIRECTION OF THE ENVIRONMENTAL ENGINEER.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL CONTROL THE DISPOSAL OF DEBRIS RESULTING FROM THE REMOVAL OPERATION.
- ALL MATERIALS AND STRUCTURES DESIGNATED AS 'TO BE REMOVED' SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- DEAD SEWER CONNECTIONS OR MAINS BEING REMOVED SHALL BE REMOVED TO THE RIGHT OF WAY (UNLESS PLANS OR CITY ENGINEER SPECIFY OTHERWISE) AND SEALED AND MADE WATERTIGHT.
- ALL TRENCHES, HOLES AND PITS RESULTING FROM THE REMOVAL AND ABANDONMENT OF ANY STRUCTURE OR OBSTRUCTION SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL STRIP AND REMOVE (OR STOCKPILE) ALL TOPSOIL PRIOR TO COMMENCING WITH ANY EXCAVATION OR DEMOLITION.

CODED NOTES:

- PROTECT EXISTING CURB TO REMAIN
- PROTECT EXISTING PAVEMENT/WALK TO REMAIN
- PROTECT EXISTING UTILITY/STORM STRUCTURE TO REMAIN
- SAWCUT PAVEMENT/WALK/CURB TO FULL DEPTH
- REMOVE EXISTING SIGN AND BASE. RETURN REQUESTED SIGNAGE TO PROPERTY OWNER IF DESIRED; OTHERWISE DISPOSE OF

LEGEND

- EXISTING**
REFER TO TITLE SHEET FOR EXISTING LEGEND ITEMS
- PROPOSED**
- REMOVE EXISTING SIDEWALK PAVEMENT TO FULL DEPTH, AND DISPOSE OF
 - LIMITS OF DISTURBANCE REMOVE EXISTING CURB, AND DISPOSE OF



NO.	DATE	REVISION DESCRIPTION
1	09/23/2016	PLAN REVIEW COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Nathrey Alan Tjebk
 Signature: [Signature]
 Date: 9/22/16 Registration No. 42589

MEDEXPRESS
ARDEN HILLS, MN
CONSTRUCTION DOCUMENTS
 1150 COUNTY RD E, ARDEN HILLS, MN 55112

EXISTING CONDITIONS & DEMOLITION PLAN

ISSUE: CONSTRUCTION DOCS
 DATE: 9/1/16
 JOB NO.: 752647
 DESIGN: CBW
 DRAWN: CBW
 CHECKED: ZDF
 SHEET NO. **C2.0**

BENCHMARK				DATUM: RAMSEY COUNTY COORDINATE SYSTEM, US FOOT
	ELEVATION*	NORTHING	EASTING	DESCRIPTION
BM #1	940.44	194518.00	560589.39	SANITARY MANHOLE GRATE ALONG COUNTY ROAD E NORTH WEST OF SITE ALONG PRIVATE DRIVE
BM #2	937.89	194229.81	560742.42	STORM MANHOLE GRATE SOUTH WEST OF SITE WITHIN PRIVATE INTERSECTION

* ELEVATION BASED ON THE TOPO SURFACE OF THE SITE PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, INC.

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Jeffrey King
 Signature:
 Date: 9/23/16 Registration No. 42288

MEDEXPRESS
ARDEN HILLS, MN
CONSTRUCTION DOCUMENTS

1150 COUNTY RD E, ARDEN HILLS, MN 55112

SITE PLAN

ISSUE:	CONSTRUCTION DOCS
DATE:	9/1/16
JOB NO.:	752647
DESIGN:	CBW
DRAWN:	CBW
CHECKED:	ZDF
SHEET NO.	C4.0

LEGEND	
EXISTING	
REFER TO TITLE SHEET FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	PAVEMENT MARKING ARROW
	LIGHT DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING
	CONCRETE BOLLARD
	LIGHT POLE & FIXTURES

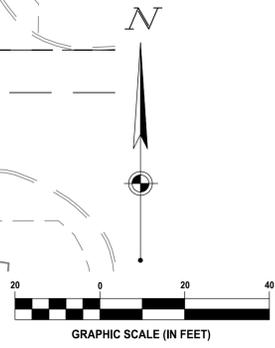
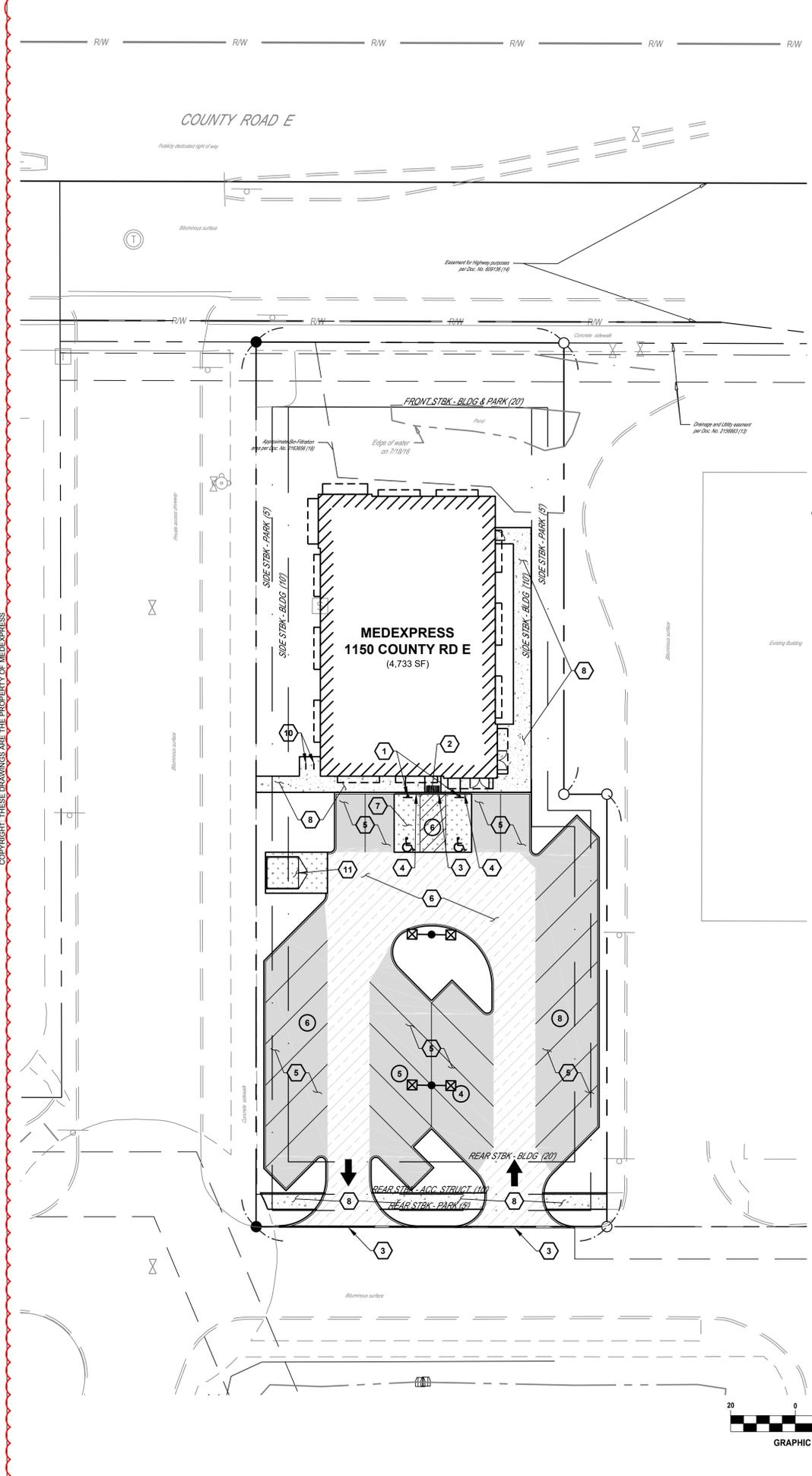
NOTE: REFER TO CONSTRUCTION DETAILS SHEET

SITE PLAN GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL: CITY OF FREMONT, NDOR AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DUMPSTER ENCLOSURE, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND SITE LIGHTING ELECTRICAL LAYOUT.
- ALL DIMENSIONS ARE MEASURED TO THE FACE OF CURB OR FACE OF BUILDING, WHERE APPLICABLE.
- REFER TO CONSTRUCTION DETAILS/ GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEBRASKA SUPPLEMENT TO THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS. AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL PROVIDE SAFETY RAILINGS AT ALL AREAS WHERE FALL PROTECTION IS REQUIRED.
- ALL SIGNAGE SHALL COMPLY WITH THE NEBRASKA SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL PAVEMENT MARKINGS AND STRIPING SHALL COMPLY WITH NDOR AND THE NEBRASKA SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - LANE LINE: 6" WHITE
 - PARKING STALLS: 4" WHITE
 - STOP LINE: 24" WHITE
 - CROSSWALKS: TRANSVERSE LINES WITH DIAGONAL MARKINGS (GAP BETWEEN TRANSVERSE LINES SHALL BE 4') ALL PAINTED WHITE.
 - HANDICAPPED STALLS: 4" YELLOW OUTLINE, WITH 4" BLUE INTERIOR AND BLUE HANDICAPPED SYMBOLS
- BOLLARDS SHALL BE PLACED TO PROTECT GAS METER, ELECTRICAL AND TELEPHONE EQUIPMENT, AND DUMPSTER ENCLOSURE.
- ALL DISTURBED AREAS ARE TO RECEIVE 4" INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL CURBED RADII ARE TO BE AS NOTED. PROPOSED CURB TO BE 6" HIGH UNLESS OTHERWISE NOTED.
- ALL LIGHT POLES TO BE LOCATED 2' FROM BACK OF CURB AS MEASURED FROM THE FACE OF POLE FOUNDATIONS, UNLESS OTHERWISE NOTED ON PLANS.

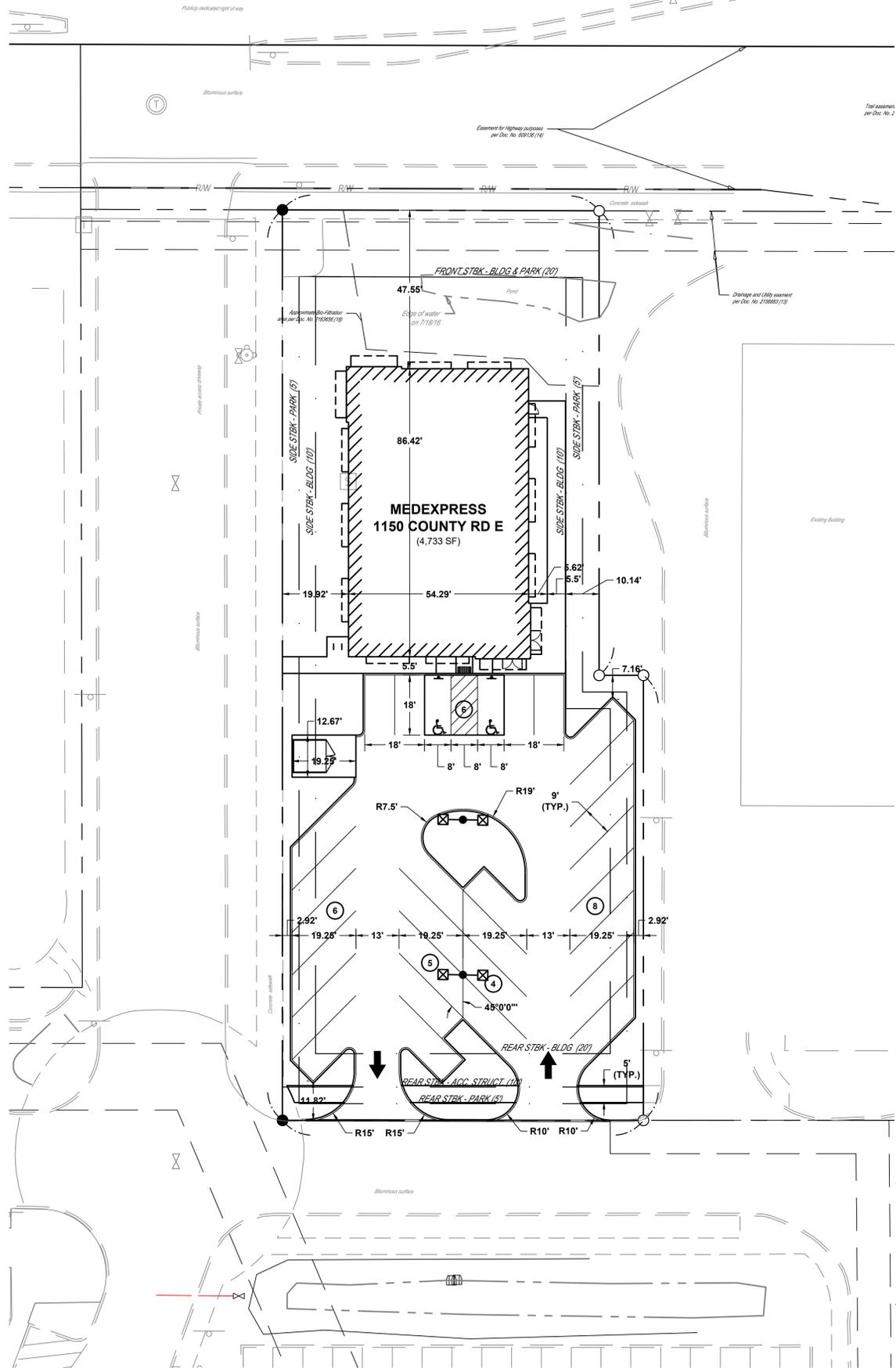
CODED NOTES:

- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS. ADA SPACES SHOULD BE CONCRETE PAVEMENT. REFER TO CONSTRUCTION DETAILS FOR CONCRETE PAVEMENT SECTION.
- ADA ACCESSIBLE RAMP WITH DETECTIBLE WARNING STRIP. REFER TO CONSTRUCTION DETAILS.
- FLUSH CURB
- TRANSITION CURB FROM FLUSH TO FULL HEIGHT IN 6'-0"
- LIGHT DUTY ASPHALT PAVEMENT, PER CONSTRUCTION DETAILS
- HEAVY DUTY ASPHALT PAVEMENT, PER CONSTRUCTION DETAILS
- CONCRETE PAVEMENT, PER CONSTRUCTION DETAILS
- CONCRETE WALK, PER CONSTRUCTION DETAILS
- CONCRETE BOLLARD, PER CONSTRUCTION DETAILS
- BIKE RACK, PER CONSTRUCTION DETAILS
- DUMPSTER ENCLOSURE AND CONCRETE PAD, PER ARCHITECTURAL PLANS
- LIGHT POLE FOUNDATION AND FIXTURE, PER PHOTOMETRIC PLAN



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COUNTY ROAD E



LEGEND

EXISTING
REFER TO TITLE SHEET FOR
EXISTING FEATURES LEGEND

PROPOSED

- BUILDING
- CONCRETE CURB
- PAVEMENT/WALK
- PAVEMENT MARKING ARROW
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PARKING SPACE COUNT
- SIGN
- DETECTABLE WARNING
- CONCRETE BOLLARD
- LIGHT POLE & FIXTURES

NOTE: REFER TO CONSTRUCTION DETAILS SHEET



NO.	DATE	REVISION DESCRIPTION
1	09/23/2016	PLAN REVIEW COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Jeffrey J. Witts
 Signature:
 Date: 9/16/16 Registration No. 42268

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CONSTRUCTION DOCUMENTS

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SITE DIMENSION PLAN

ISSUE: CONSTRUCTION DOCS
 DATE: 9/1/16
 JOB NO.: 752647
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 SHEET NO. C4.1

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GRADING PLAN GENERAL NOTES

- ONLY VIRGIN MATERIALS SHALL BE USED UNLESS APPROVED IN WRITING BY A MEDEXPRESS REPRESENTATIVE.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND DEPARTMENT OF TRANSPORTATION MATERIAL AND CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE NEBRASKA ONE CALL SYSTEM AT LEAST THREE (3) WORKING DAYS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 6" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STROM DRAINAGE SYSTEM.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND STORM INLET GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- ALL EXISTING TOPOGRAPHICAL FEATURES (SPOT ELEVATIONS, CONTOURS, INVERTS, ETC.) CAN HAVE A TOLERANCE DIFFERENCE OF 6" +/- DEPENDING ON FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHICAL FEATURES PRIOR TO CONSTRUCTION, AND ADVISE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION AND SEDIMENTATION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 6" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO STORM INLETS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- ALL ACCESSIBLE PARKING SPACES TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ALL SIDEWALKS, PATIO AREAS, AND ACCESSIBLE ROUTES TO THE BUILDING ARE TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- CONTRACTOR TO FIELD VERIFY PROPOSED AND EXISTING GRADES, SLOPES, ETC., FOR PROPOSED ACCESSIBLE PARKING AREAS, RAMPS, ETC., WITH ARCHITECT, PRIOR TO CONSTRUCTION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM FIELD OBSERVATION, UTILITY MAPS, ETC., AND ARE NOT ASSUMED TO BE ACCURATE. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO DIG TEST PITS AT ALL PROPOSED UTILITY CROSSINGS, TO VERIFY LOCATION, DEPTH, SIZE, ETC. OF EXISTING UNDERGROUND UTILITIES, AND CONFIRM NEW UTILITY LINES CAN BE INSTALLED AS PROPOSED. ADVISE MEDEXPRESS CONSTRUCTION MANAGER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.

STORM SEWER NOTES:

- ALL STORM SEWER PIPES SHALL BE MANUFACTURED WITH INTEGRAL BELL AND SPIGOT JOINTS INCLUDING A GASKET, SO AS TO PROVIDE A WATERTIGHT SEAL.
- ALL STORM SEWER PIPES LESS THAN 12" DIAMETER SHALL BE PVC SDR 35 WATERTIGHT PIPE CONFORMING TO ASTM SPECIFICATION D3034, UNLESS DENOTED OTHERWISE ON PLANS.
- ALL STORM SEWER PIPES 12" DIAMETER AND GREATER SHALL BE HDPE N-12, WATERTIGHT PIPE AS MANUFACTURED BY ADS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLANS.
- CONNECTIONS TO STRUCTURES SHALL BE MADE WATERTIGHT WITH NON-SHRINKING AND NON-CORROSIVE GROUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 REINFORCED CONCRETE PIPE (RCP) (PER ASTM C-76 CLASS IV)
 POLYVINYL CHLORIDE (PVC SDR 35)
 HIGH DENSITY POLYETHYLENE PIPE (HDPE)

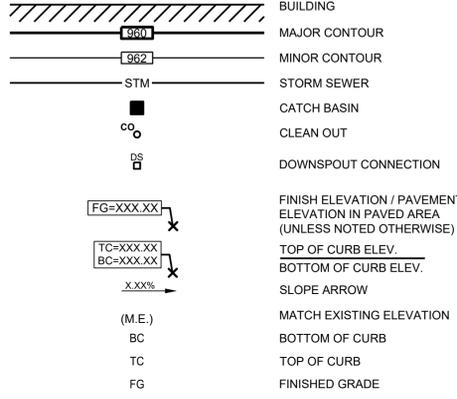
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONCRETE COLLARS ARE TO BE INSTALLED AROUND ALL STORM STRUCTURES.
- ALL MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
- ALL DOWNSPOUT DRAINS ARE TO HAVE A 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL PROPOSED MODIFICATIONS TO EXISTING CATCH BASINS AND/OR MANHOLES SHALL BE IN ACCORDANCE WITH IDOT STANDARDS AND SPECIFICATIONS.

LEGEND

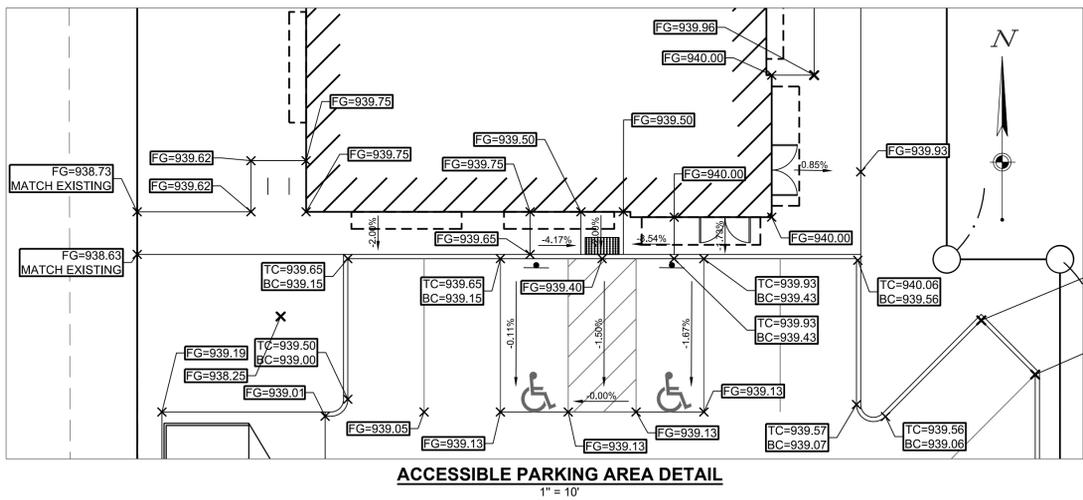
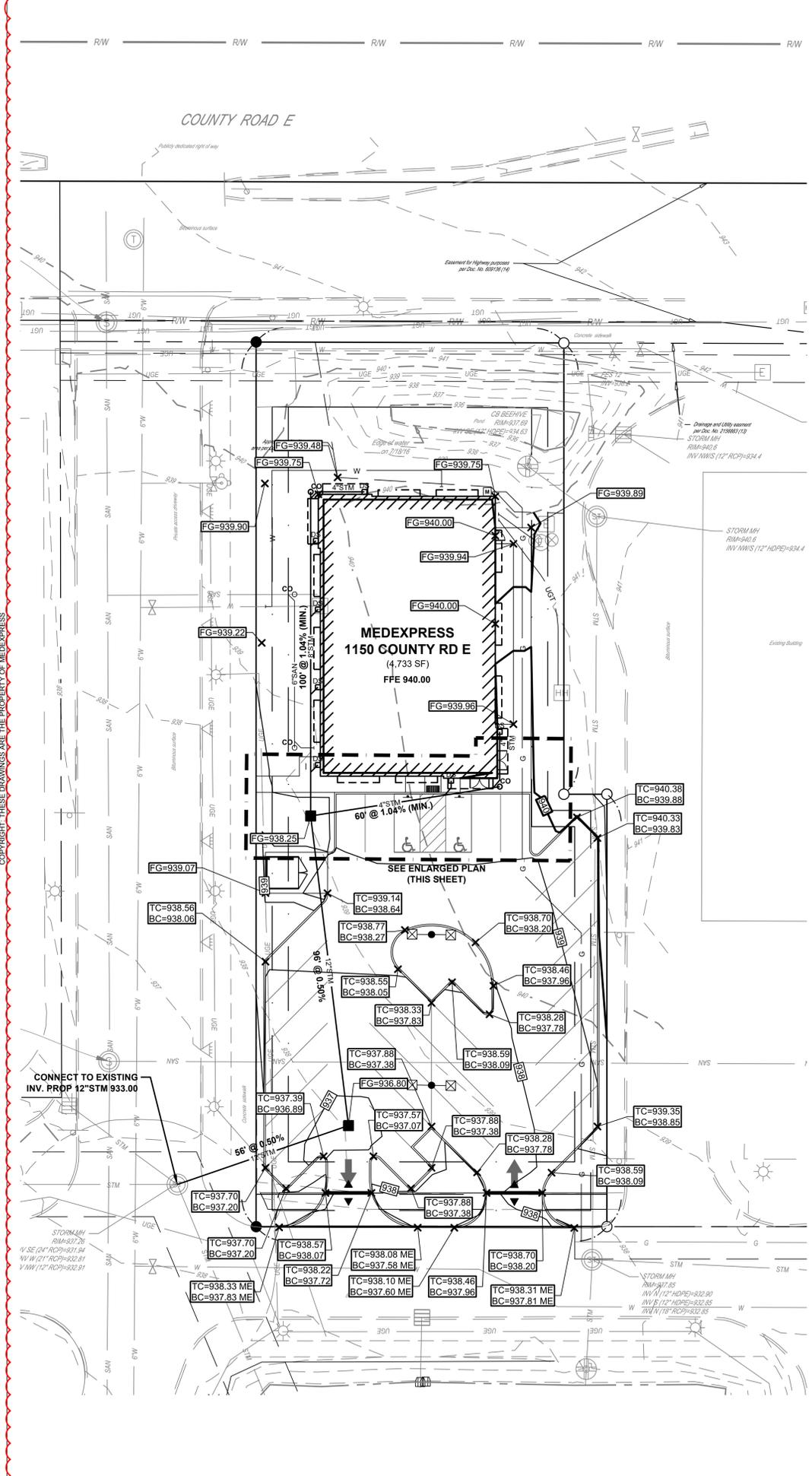
EXISTING

REFER TO TITLE SHEET

PROPOSED



NOTE: REFER TO CONSTRUCTION DETAILS SHEET



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1	09/23/2016	PLAN REVIEW COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Signature: Jeffrey Alan Truitt
 Date: 9/23/2016 Registration No. 42589

MEDEXPRESS
 ARDEN HILLS, MN
 CONSTRUCTION DOCUMENTS
 1150 COUNTY RD E, ARDEN HILLS, MN 55112

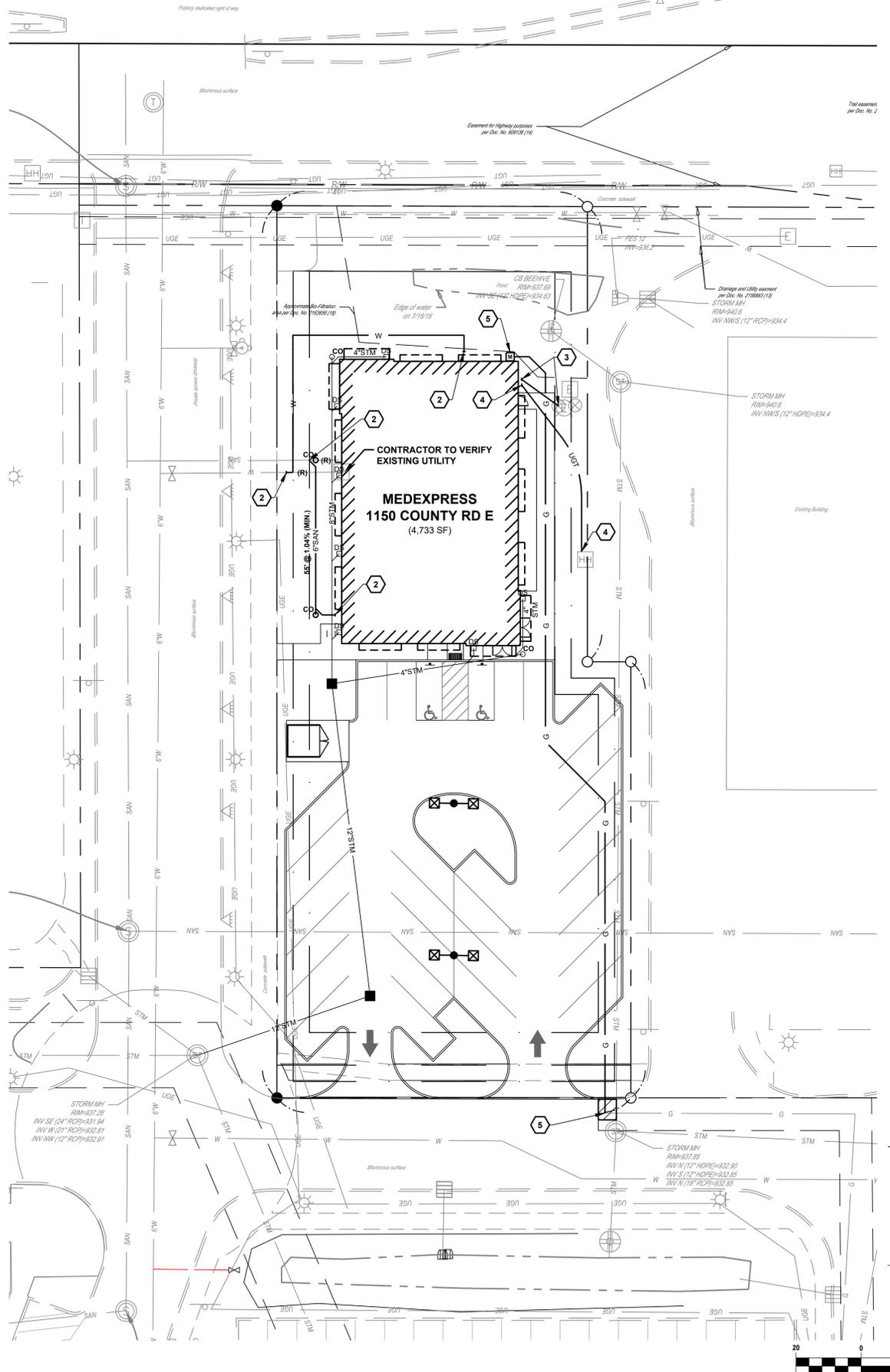
GRADING PLAN

ISSUE: CONSTRUCTION DOCS
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 DESIGN: CBW
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 SHEET NO. C5.0



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UTILITY PLAN GENERAL NOTES:

- GENERAL CONTRACTOR TO VERIFY ALL UTILITY INFORMATION REQUIREMENTS (GAS, ELECTRIC, TELEPHONE, WATER AND SANITARY) WITH EACH UTILITY COMPANY. ALL REQUIREMENTS SHOULD BE INCLUDED IN BASE BID. ANY DISCREPANCIES PLEASE NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION. ALL REQUIREMENTS SHOULD BE INCLUDED IN BASE BID.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE OWNER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.

UTILITY SERVICE NOTES:

- A. SANITARY SEWER:**
THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF THE EXISTING UTILITIES PRIOR TO ORDERING ANY SANITARY SEWER CONSTRUCTION MATERIALS. CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES. THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL A NEW 6" SCHEDULE 40 PVC SERVICE LATERAL AND ASSOCIATED CLEANOUTS FROM THE PROPOSED BUILDING TO THE EXISTING SANITARY SEWER MAIN. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF ARDEN HILLS SEWER CODE AND THE STATE OF MINNESOTA BUILDING AND PLUMBING CODES.
- B. WATER SERVICE:**
THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL A NEW 1.5" TYPE "K" COPPER WATER SERVICE LINE AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL LOCATE THE EXISTING LINE, TIE INTO THE EXISTING SERVICE LINE, INSTALL THE NEW WATER SERVICE LINE AND MAKE THE CONNECTION TO THE METER INSIDE THE BUILDING. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL VALVES AND WATER METERS AS DIRECTED BY THE CITY OF ARDEN HILLS PUBLIC WORKS DEPARTMENT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ARDEN HILLS AND STATE OF MINNESOTA BUILDING AND PLUMBING CODES.
- C. ELECTRIC SERVICE:**
THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL 2-3" SCH 40 PVC CONDUITS WITH LONG SWEEPING BENDS AND PULL WIRE FROM THE EXISTING UNDER GROUND ELECTRIC LINES TO THE PROPOSED UTILITY TRANSFORMER, OFF THE NORTHWEST CORNER OF THE BUILDING, BACK TO THE ELECTRIC/DATA ROOM. MAINTAIN EITHER A CLEAR HORIZONTAL DISTANCE OF 12" FROM CABLE AND TELEPHONE CONDUITS OR AN 18" VERTICAL CLEARANCE WHEN SHARING A TRENCH. THE ELECTRIC COMPANY SHALL MAKE THE CONNECTION TO THE ELECTRIC MAIN LINE. THE ELECTRIC COMPANY SHALL PROVIDE THE CTS AND THE CONTRACTOR SHALL PROVIDE AND INSTALL THE CABINET. THE CONTRACTOR SHALL INSTALL THE CTS AND GET AN ELECTRICAL INSPECTION APPROVAL FROM THE ELECTRIC COMPANY. THE ELECTRIC COMPANY SHALL PROVIDE AND INSTALL THE ELECTRIC METER AND CANISTER AND MAKE THE CONNECTION AT THE METER. THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE INSTALLATION WITH THE ELECTRIC COMPANY.
- D. TELEPHONE/CABLE SERVICE:**
THE CONTRACTOR SHALL TRENCH, BACKFILL, PROVIDE AND INSTALL 1-4" SCH 40 PVC CONDUIT WITH LONG SWEEPING BENDS AND PULL WIRE FROM THE UNDERGROUND UTILITY BACK TO THE ELECTRIC/DATA ROOM. THE CONTRACTOR SHALL PROVIDE AND INSTALL A 4'X4' MOUNTING BOARD WITH A #6 GROUND WIRE. THE CONTRACTOR SHALL PROVIDE AN AC OUTLET FOR FIBER OPTIC SERVICE IF WANTED BY THE MEDEXPRESS CONSTRUCTION REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE HOOKUPS WITH THE TELEPHONE COMPANY. THE TELEPHONE COMPANY SHALL PROVIDE/INSTALL THE TELEPHONE LINE, INTERFACE BOX AND MAKE THE CONNECTION AT THE UTILITY POLE AND INTERFACE BOX. THE CONTRACTOR SHALL COORDINATE THE TELEPHONE SERVICE WITH THE TELEPHONE COMPANY.
- E. GAS:**
THE CONTRACTOR SHALL COORDINATE/INSTALL A NEW GAS SERVICE LINE FROM THE EXISTING 1.25" GAS MAIN, LOCATED SOUTH OF THE PROPOSED DUMPSTER LOCATION, BACK TO THE PROPOSED BUILDING WITH THE GAS COMPANY. CONTRACTOR TO INSTALL THE GAS METER 3' FROM THE THE BACK DOOR. CONTRACTOR TO INSTALL A 2" SCH 40 PVC SLEEVE WITH A SWEEPING 90 AT THE PROPOSED METER LOCATION ON THE BUILDING AND EXTEND THE SLEEVE BACK WEST TO THE EXISTING PROPERTY LINE. THE GAS COMPANY WILL TIE INTO THE SCH 40 SLEEVE AND PERFORM THE NEW TAP INTO THE EXISTING MAIN LINE.

CODED NOTES:

- PROPOSED 6" SANITARY SERVICE LINE PER CITY OF ARDEN HILLS REQUIREMENTS. CONTRACTOR TO INSTALL SERVICE PER CITY REGULATIONS AND SPECIFICATIONS. SEE GENERAL UTILITY NOTE A FOR ADDITIONAL DETAILS.
- PROPOSED COMBINED WATER AND FIRE PROTECTION SERVICE LINE, WITH METER AND BACKFLOW PREVENTER IN BUILDING (REFER TO PLUMBING PLAN). SEE GENERAL UTILITY NOTE B FOR WATER SERVICE DETAILS.
- PROPOSED ELECTRIC SERVICE ROUTE. SEE GENERAL UTILITY NOTE C FOR ELECTRIC SERVICE DETAILS.
- PROPOSED TELEPHONE/CABLE SERVICE ROUTE. SEE GENERAL UTILITY NOTE D FOR ADDITIONAL DETAILS.
- PROPOSED GAS SERVICE AND METER PER LOCAL UTILITY DIRECTION. CONTRACTOR TO VERIFY AND COORDINATE POINT OF CONNECTION WITH XCEL ENERGY FOR PROPOSED SERVICE LOCATION. SEE GENERAL UTILITY NOTE E FOR GAS SERVICE DETAILS.

LEGEND

EXISTING	
REFER TO TITLE SHEET FOR EXISTING LEGEND INFORMATION	
PROPOSED	
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER
	SANITARY SEWER
	COMBINED WATER SERVICE LINE
	GAS SERVICE LINE
	UGND. ELECTRIC LINE
	UGND. TELEPHONE LINE
	CATCH BASIN
	CLEANOUT
	LIGHT POLE
	REMOVE EXISTING UTILITY
	OPEN CUT W/ FULL DEPTH PAVEMENT REPLACEMENT

**SEE SHEET C5.0 FOR STORM
STRUCTURE SCHEDULE**

**SEE SHEET C6.1
FOR GENERAL UTILITY DETAILS**

**SEE ARCHITECTURAL PLANS
FOR STUB LOCATIONS**



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Jeffrey Alan Thibault
 Signature: [Signature]
 Date: 9/22/16 Registration No. 42589

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UTILITY PLAN

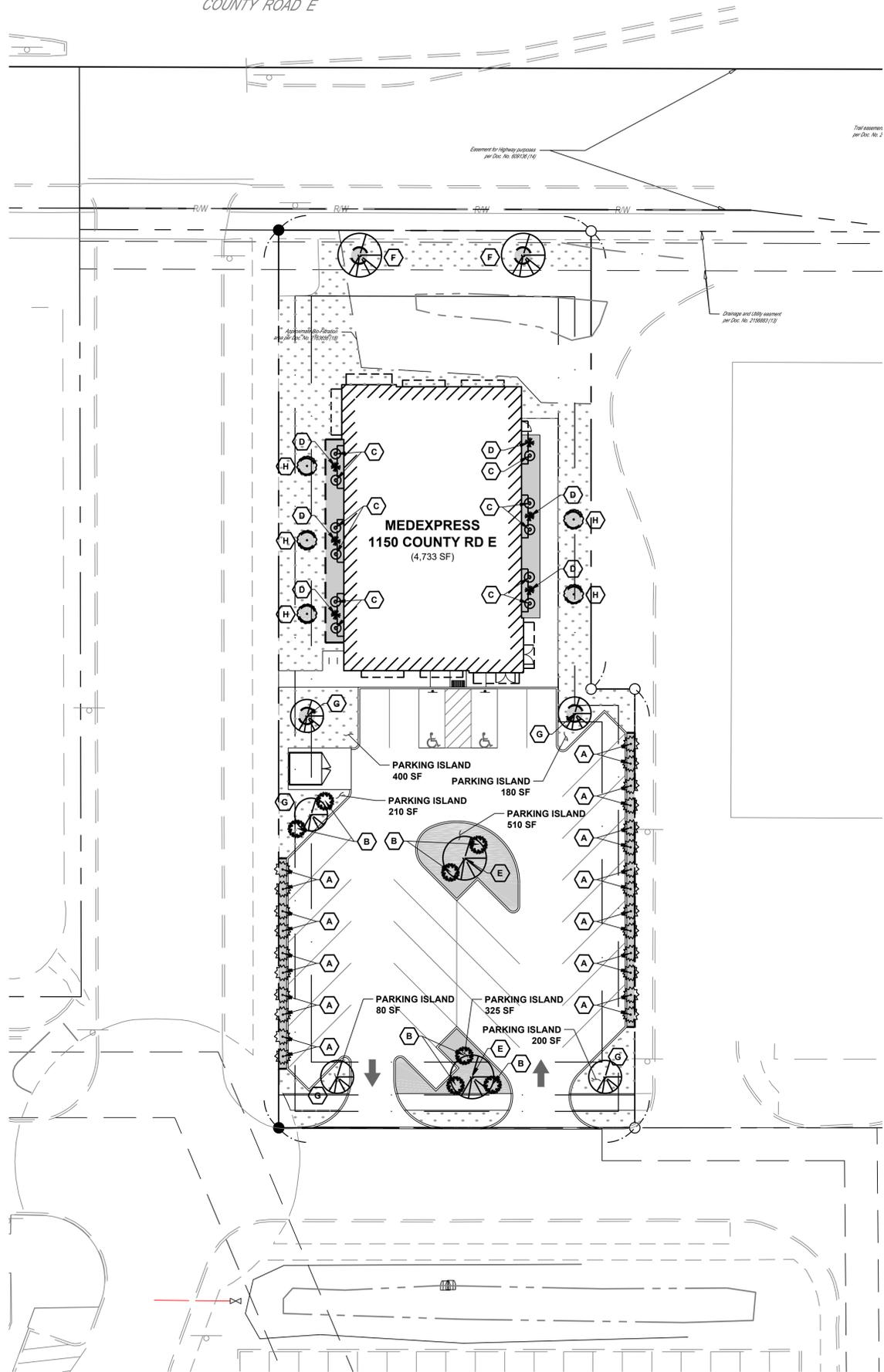
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PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE NORTHERN NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER/CONSTRUCTION MANAGER. THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE MUNICIPALITY AND OWNER.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTH AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXISTS, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.

TOPSOIL AND SOD NOTES:

- ALL DISTURBED AREAS SHALL RECEIVE SOD. SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE.
- SOD SHALL BE INSTALLED ON A MIN. OF 3" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/CM. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

IRRIGATION NOTES:

- ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATIONS SYSTEM. THE GC SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE GC SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

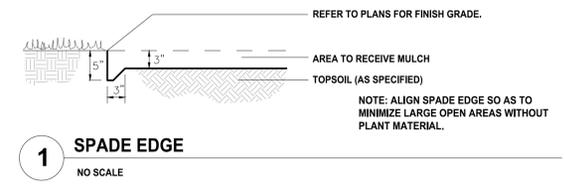
LANDSCAPE REQUIREMENTS

- FRONTAGE TREES:**
 REQUIRED: 1 TREE/50' OF FRONTAGE
 PROVIDED: 95' FRONTAGE/50' = 2 TREES REQUIRED
 2 TREES
- PERENNIALS AND SHRUBBERIES:**
 REQUIRED: AT LEAST TEN (10) PERCENT OF TOTAL LANDSCAPED AREA SHALL BE COVERED WITH PERENNIALS AND OR SHRUBBERY AND BE PLANTED WITHIN THE PERIMETER OF THE PRIVATE PARKING, BUILDING, AND DRIVEWAY AREA.
 LANDSCAPE AREA: 7,780 SF -> 778 SF REQUIRED
 PROVIDED: 1,160 SF
- PLANTING ISLANDS:**
 REQUIRED: PLANTING ISLANDS SHALL OCCUPY TEN (10) PERCENT OF THE PARKING AREA
 PARKING AREA: 12,720 SF -> 1,272 AREA REQUIRED
 PROVIDED: 1,905 SF (AREAS AT END OF PARKING ROWS ARE COUNTED AS ISLANDS)
 REQUIRED: 1 / TREE PER ISLAND
 PROVIDED: 1 / TREE PER ISLAND

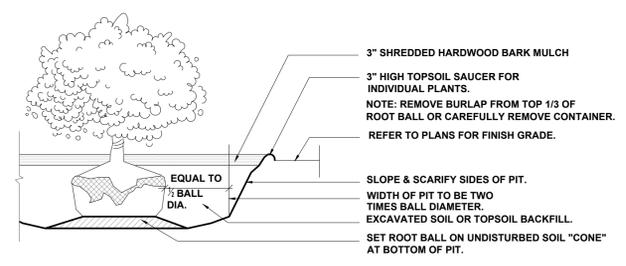
PLANT MATERIAL LIST				
SYM.	QTY.	PLANT NAME	INSTALLED SIZE	MATURE HEIGHT/ SPREAD
SHRUBS (DECIDUOUS)				
A	24	GREEN VELVET BOXWOOD (BUXUS 'GREEN VELVET')	3 GAL	4' HT.
B	7	BLACK CHOKEBERRY (ARONIA MELANCOPIA)	3 GAL	3' HT.
C	11	LO GRO SUMAC (RHUS AROMATICA 'GRO-LOW')	2 GAL	2' HT.
D	6	BLUE GLOBE SPRUCE (PICEA PUNGENS 'GLOBOSA')	3 GAL	4' HT.
SHADE TREE (DECIDUOUS)				
E	2	AUTUMN BLAZE MAPLE (ACER RUBRUM)	4.5" DBH	50' / 40'
F	2	SHADEMASTER HONEYLOCUST (GLEDTISIA TRICANTHOS INERMIS 'SHADEMASTER')	3.5" DBH	40' / 35'
G	4	BURGUNDY BELLE MAPLE (ACER RUBRUM 'BURGUNDY BELLE')	3.5" DBH	45' / 35'
H	5	ADAMS CRABAPPLE (MALUS 'ADAMS')	2.5" DBH	20' / 20'

LEGEND

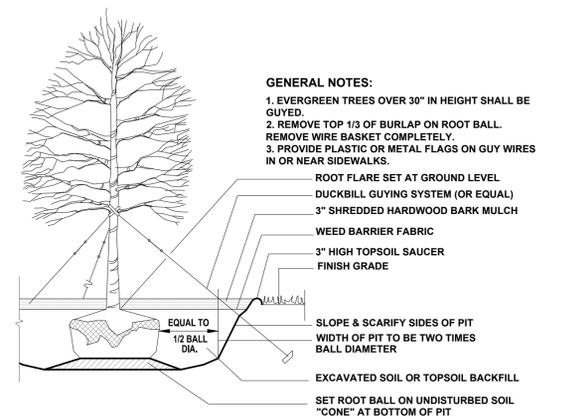
- PROPOSED**
- GRASS / SOD
 - RIVER ROCK
 - SPADE EDGE
 - SMALL SHRUBS
 - SHRUB
 - ORNAMENTAL TREE
 - SHADE TREE



1 SPADE EDGE
NO SCALE



2 SHRUB PLANTING
NO SCALE



3 TREE PLANTING
NO SCALE

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Jeffrey Ryan Phillips
 Signature: [Signature]
 Date: 9/23/16 Registration No. 42288

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LANDSCAPE PLAN

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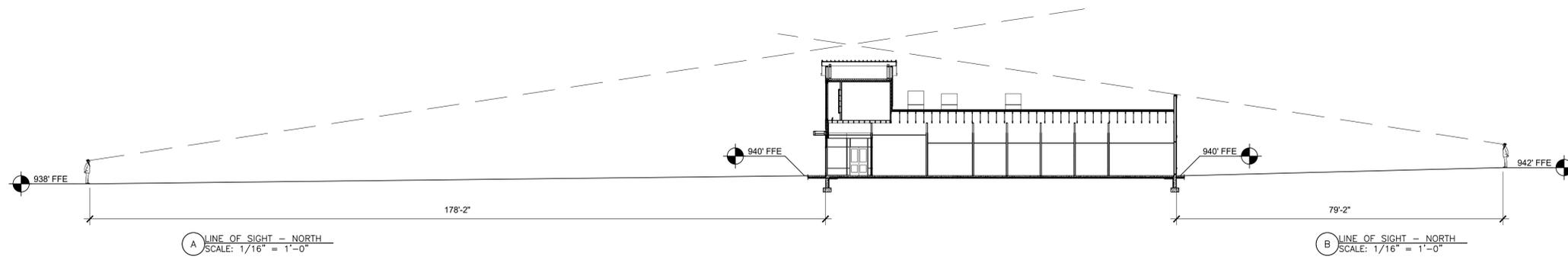
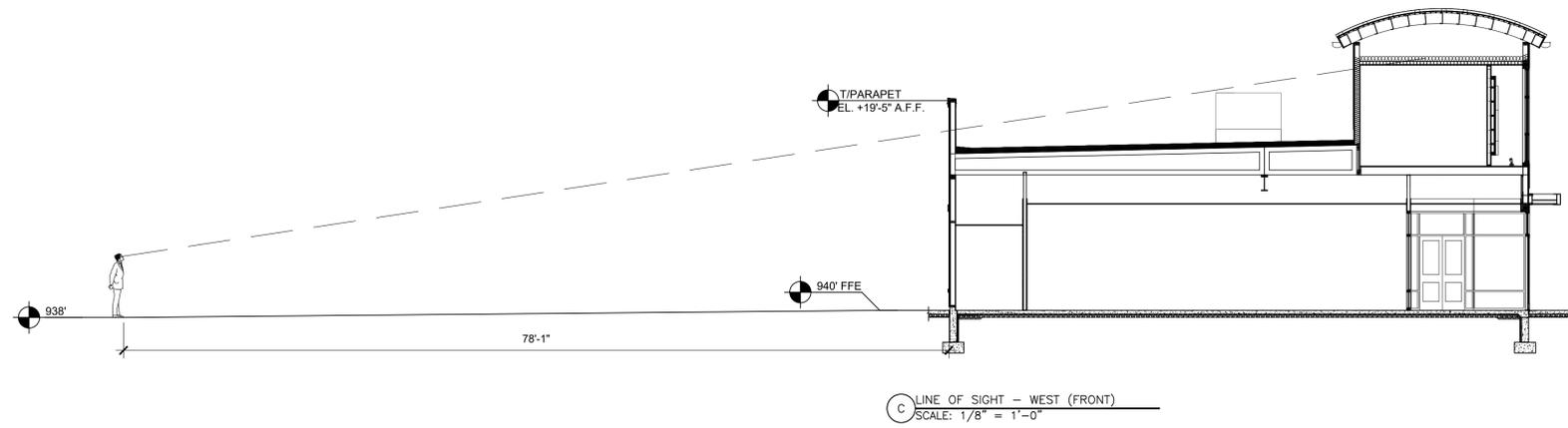
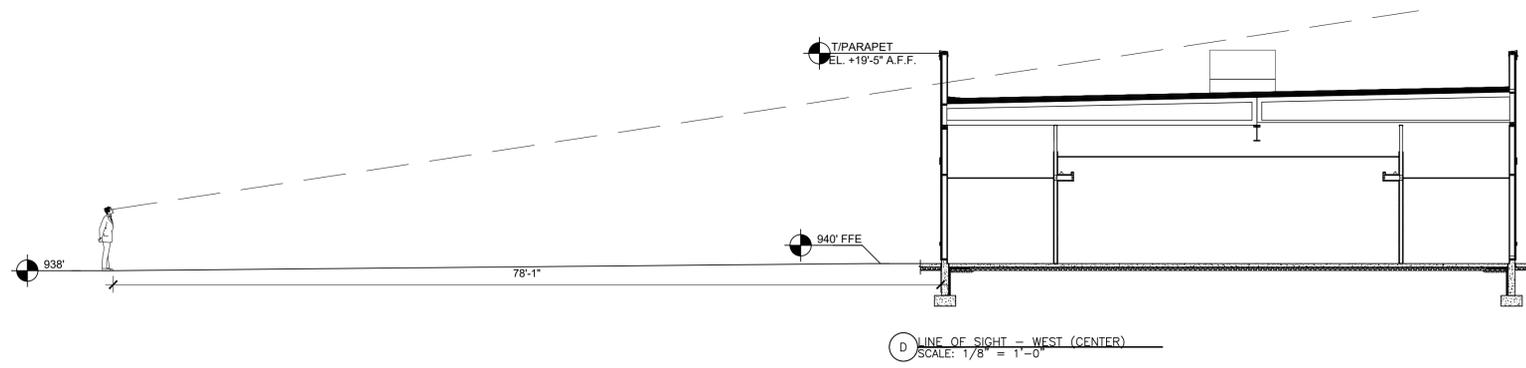
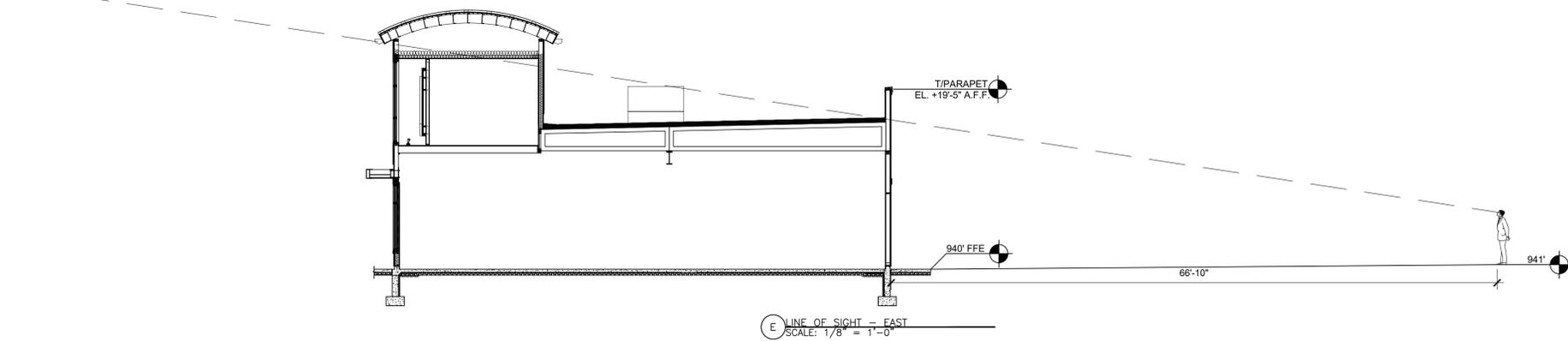
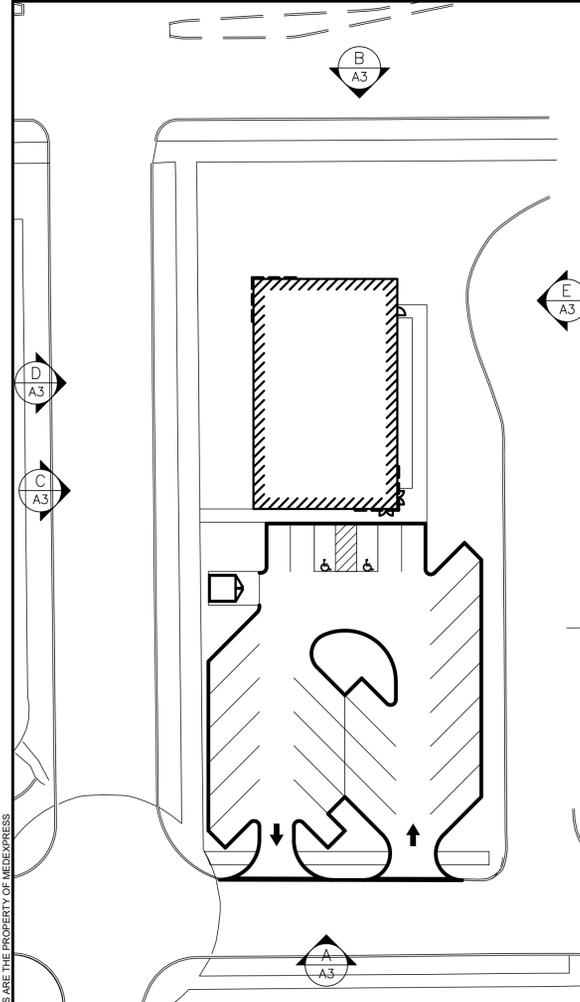
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.
 Signature: *[Signature]*
 Type or Printed Name: **FRANKLIN T. BELL**
 Date: 09/22/2016
 License Number: **53153**

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JOB NO.:	752647-01
DESIGN:	RDCII
DRAWN:	RDCII
CHECKED:	BB

SHEET NO.
A0.1



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1150 COUNTY ROAD E ARDEN HILLS, MINNESOTA 55112

NOTE: SEE SHEET A-11 FOR COAT HOOK MOUNTING HEIGHT, TYPICAL FOR EXAMS, PROCEDURE, AND TOILETS.

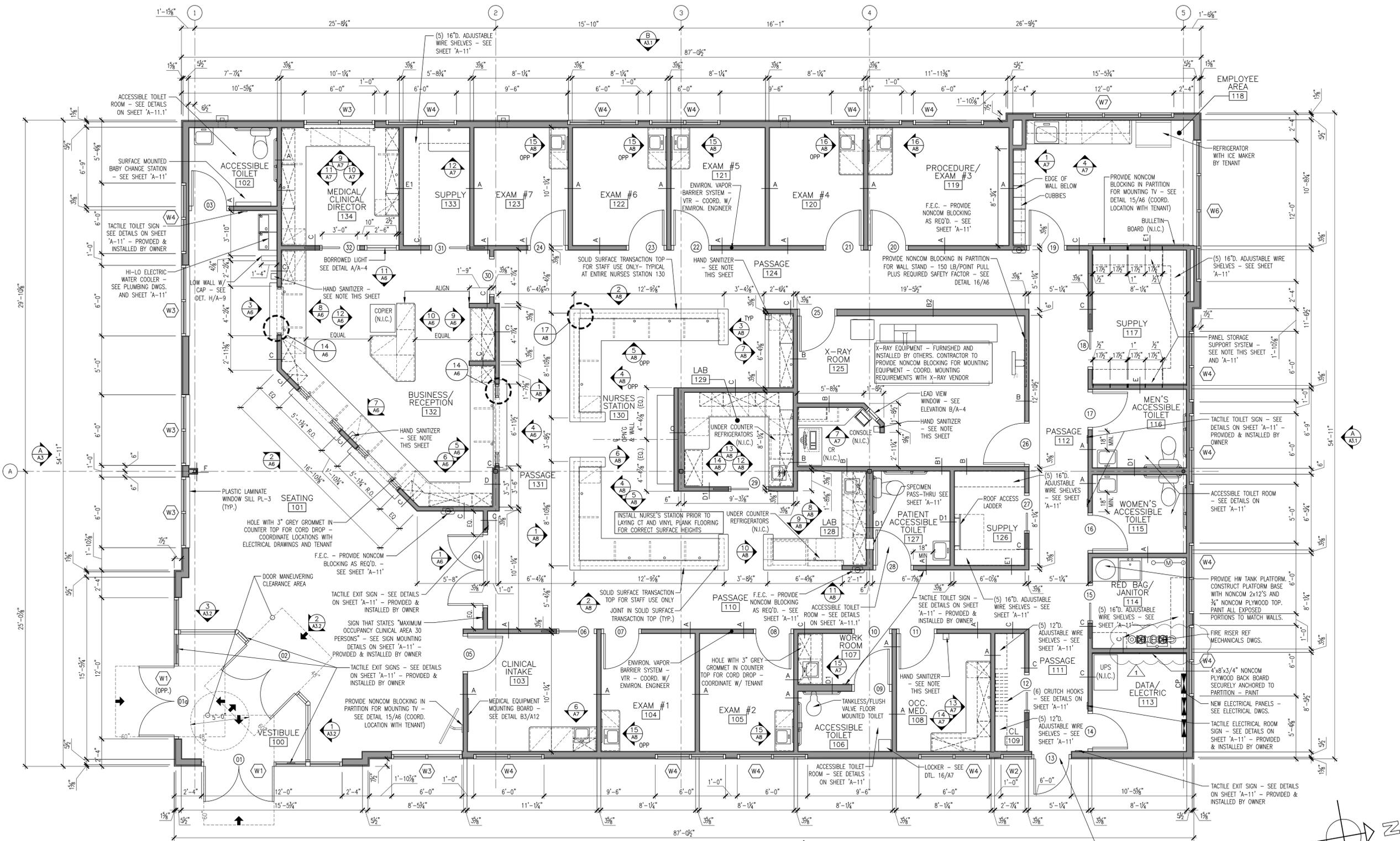
NOTE: HAND SANITIZER PROVIDED BY TENANT INSTALLED BY GC AT 48" MAX TO CONTROLS

NOTE: ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

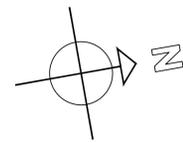
PARTITION LEGEND
 [Symbol] EXISTING PARTITION - PATCH AS REQUIRED
 [Symbol] NEW PARTITION - SEE SHEET 'A-4' FOR PARTITION TYPES

NOTE: MATERIALS TO BE STORED IN SUPPLY ROOMS 117, 126 & 133 ARE INCIDENTAL TO THE BUSINESS OCCUPANCY AND NOT CONSIDERED A HAZARD. FIRE RATING OF THESE SPACES IS NOT REQUIRED OR PROVIDED.

NOTE: THE GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST TO INSTALL A PANEL STORAGE SUPPORT SYSTEM, FURNISHED BY THE TENANT, IN THE SUPPLY #117 AREAS INDICATED ON THE PLAN, FROM 12" A.F.F TO APPROXIMATELY 80" ABOVE THE FLOOR. THE SYSTEM CONSISTS OF APPROXIMATELY 18" HIGH x 36" WIDE PUNCHED METAL PANELS WITH PRE-DRILLED HOLES THAT ALIGN WITH THE STUD SPACING INDICATED ON THE FLOOR PLAN. ATTACH THE PANELS WITH #14 TEK SCREWS SECURED THRU THE METAL STUDS. IN ADDITION, THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ONE 16" DEEP WHITE WIRE SHELF ON WHITE HEAVY DUTY COMMERCIAL GRADE DOUBLE SLOTTED STANDARDS AND HEAVY DUTY COMMERCIAL GRADE BRACKETS CONTINUOUSLY ABOVE THE AREAS RECEIVING THE PANEL SUPPORT SYSTEM. SPACE STANDARDS 16" ON CENTER WITH NO STANDARD LESS THAN 6" FROM THE END OF A SHELF.



FLOOR PLAN
SCALE: 1/4" = 1' - 0"



NO.	DATE	REVISION DESCRIPTION
1	09/23/2016	PR#1 PLAN REVIEW COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.
 Signature: *Frederick L. Ebel*
 Title: *Frederick L. Ebel*
 Date: 09/22/2016
 License Number: 53153

MEDEXPRESS
ARDEN HILLS, MN
CONSTRUCTION DOCUMENTS

FLOOR PLAN

ISSUE:	CONSTRUCTION DOCS
DATE:	08-30-2016
JOB NO.:	752647-01
DESIGN:	RDCII
DRAWN:	RDCII
CHECKED:	BB
SHEET NO.	A1

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1150 COUNTY ROAD E ARDEN HILLS, MINNESOTA 55112

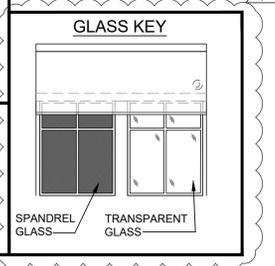
EXTERIOR PAINT COLOR CHART:

EPT-1 - BENJAMIN MOORE 2163-30 PENNY - SATIN FINISH
EPT-2 - BENJAMIN MOORE 1122 COCOA SAND - SATIN FINISH
EPT-3 - BENJAMIN MOORE 912 LINEN WHITE - SATIN FINISH
EPT-4 - SHERWIN WILLIAMS SW 6258 TRI-CORN BLACK - SEMI-GLOSS FINISH
EPT-5 - SHERWIN WILLIAMS SW 7043 WORLDLY GRAY - SATIN FINISH

- EXTERIOR FIBER CEMENT PANEL NOTES:**
- EXTERIOR FIBER CEMENT PANELS MATERIALS & ACCESSORIES SHALL BE PURCHASED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE ORDERING & DELIVERY WITH THE OWNER'S NICHHA REPRESENTATIVE.
 - CONTRACTOR SHALL PROVIDE INSTALLATION BY AN APPROVED NICHHA NATIONAL ACCOUNT CERTIFIED INSTALLER. COORDINATE WITH NICHHA REPRESENTATIVE.
 - NICHHA PANELS SHALL BE INSTALLED CONTINUOUS FROM STARTER TRACK AT BOTTOM TO TOP OF WALL. ALL TRIM BOARDS SHALL BE SURFACE MOUNTED ON TOP OF PANEL SURFACES W/ MECHANICAL FASTENERS AS PER MANUF. RECOMMENDATIONS. TRIM BOARDS SHALL BE INSTALLED WITH SMOOTH SURFACE EXPOSED.
 - UTILIZE NICHHA DOUBLE FLANGE SEALANT BACKER TO ACHIEVE VERTICAL CONTROL JOINTS AT WALL SURFACES EXCEEDING 30' LINEAL FEET. LOCATE JOINTS PER ARCHITECTURAL DRAWINGS. CAULK COLOR TO MATCH FIELD PANEL COLOR. COORDINATE INSTALLATION REQUIREMENTS WITH NICHHA REPRESENTATIVE AND/OR INSTALLERS.
 - NICHHA SPACERS SHALL BE USED TO SHIM PANELS WHEN FACE FASTENERS MUST BE UTILIZED FOR PANEL ATTACHMENT, SUCH AS AT TOP OF WALL CONDITIONS. COORDINATE WITH NICHHA REPRESENTATIVE AND/OR INSTALLERS.

MATERIALS BREAK DOWN

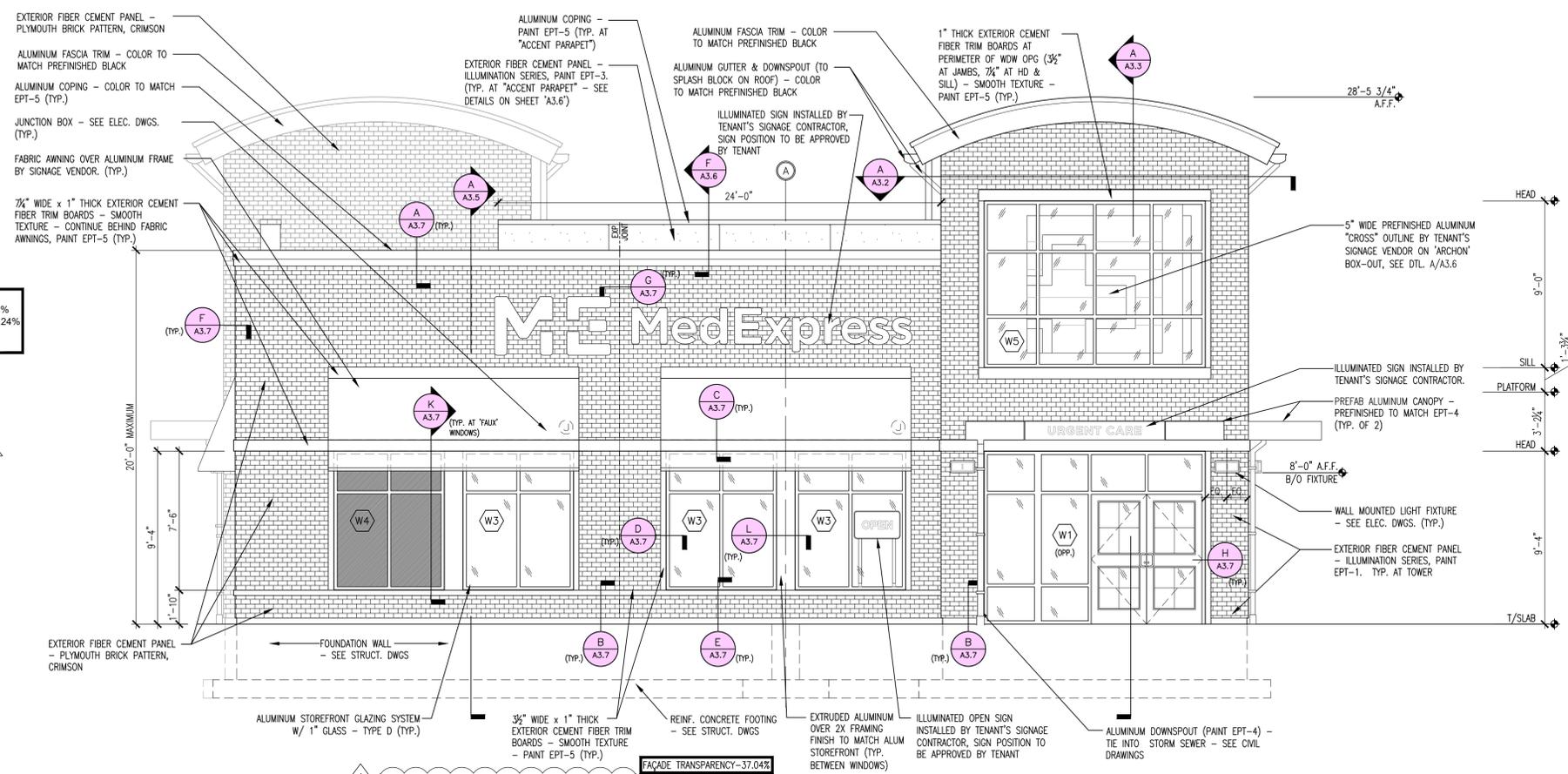
- CEMENT PANELS AND TRIM - 73.94%
- STORE FRONT GLASS/DOORS - 22.24%
- FABRIC AWNING - 1.17%
- ALUMINUM COPING - 2.65%



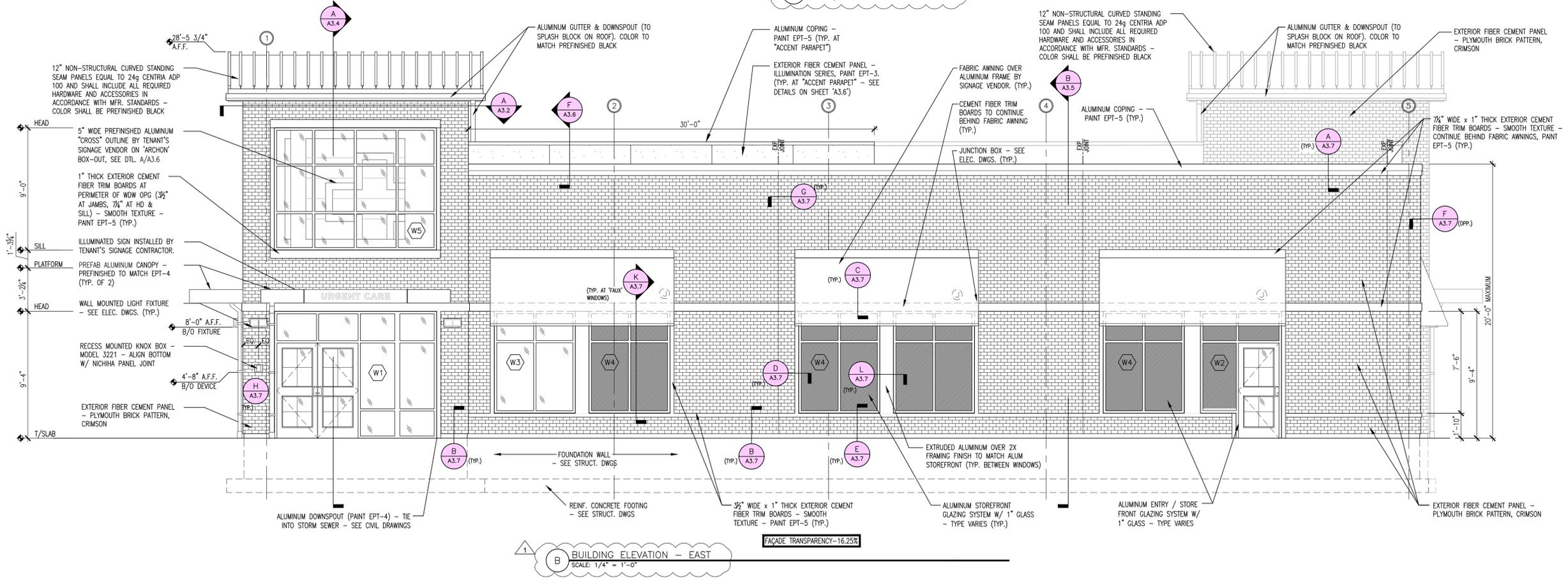
NICHHA REPRESENTATIVE CONTACT INFORMATION:
MATT STEPHENSON
National Commercial Accounts Project Coordinator

Nichha USA, INC.
6659 Peachtree Industrial Blvd., Suite AA
Norcross, GA 30092

Cell: 770-789-8228 - E-mail: mstephenson@nichha.com - Phone: 770-805-9466



1 A BUILDING ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



1 B BUILDING ELEVATION - EAST
SCALE: 1/4" = 1'-0"

EXTERIOR PAINT COLOR CHART:

EPT-1	BENJAMIN MOORE 2163-30 PENNY - SATIN FINISH
EPT-2	BENJAMIN MOORE 1122 COCOA SAND - SATIN FINISH
EPT-3	BENJAMIN MOORE 912 LINEN WHITE - SATIN FINISH
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EPT-5	SHERWIN WILLIAMS SW 7043 WORLDLY GRAY - SATIN FINISH

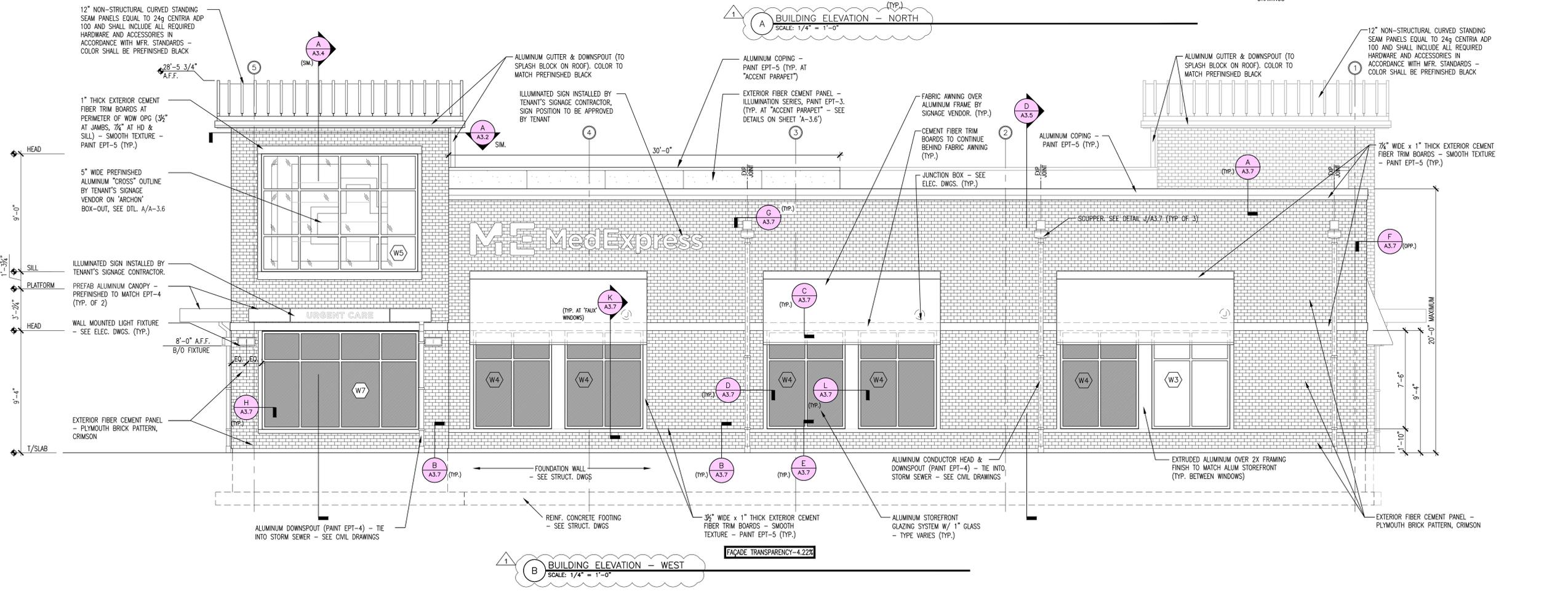
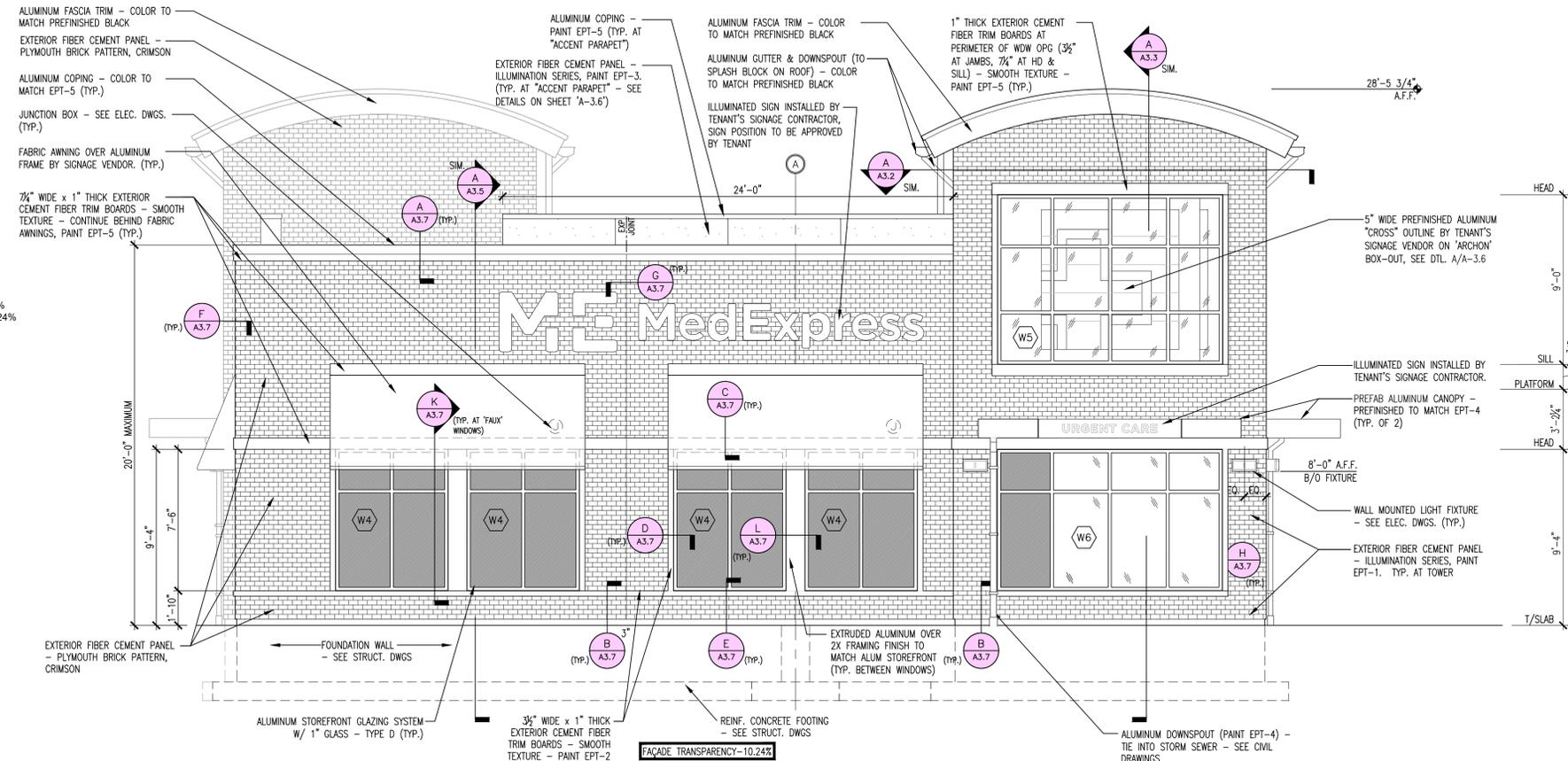
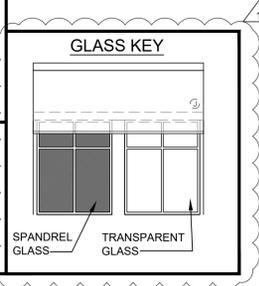
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NICHHA REPRESENTATIVE CONTACT INFORMATION:
MATT STEPHENSON
National Commercial Accounts Project Coordinator

Nichha USA, INC.
6559 Peachtree Industrial Blvd., Suite AA
Norcross, GA 30092
Cell: 770-789-8228 - E-mail: mstephenson@nichha.com -
Phone: 770-805-9466

- MATERIALS BREAK DOWN**
- CEMENT PANELS AND TRIM - 73.94%
 - STORE FRONT GLASS/DOORS - 22.24%
 - FABRIC AWNINGS - 1.17%
 - ALUMINUM COPING - 2.65%



REVISION DESCRIPTION

NO.	DATE	REVISION DESCRIPTION
1	09/22/2016	PR#1 PLAN REVIEW COMMENTS

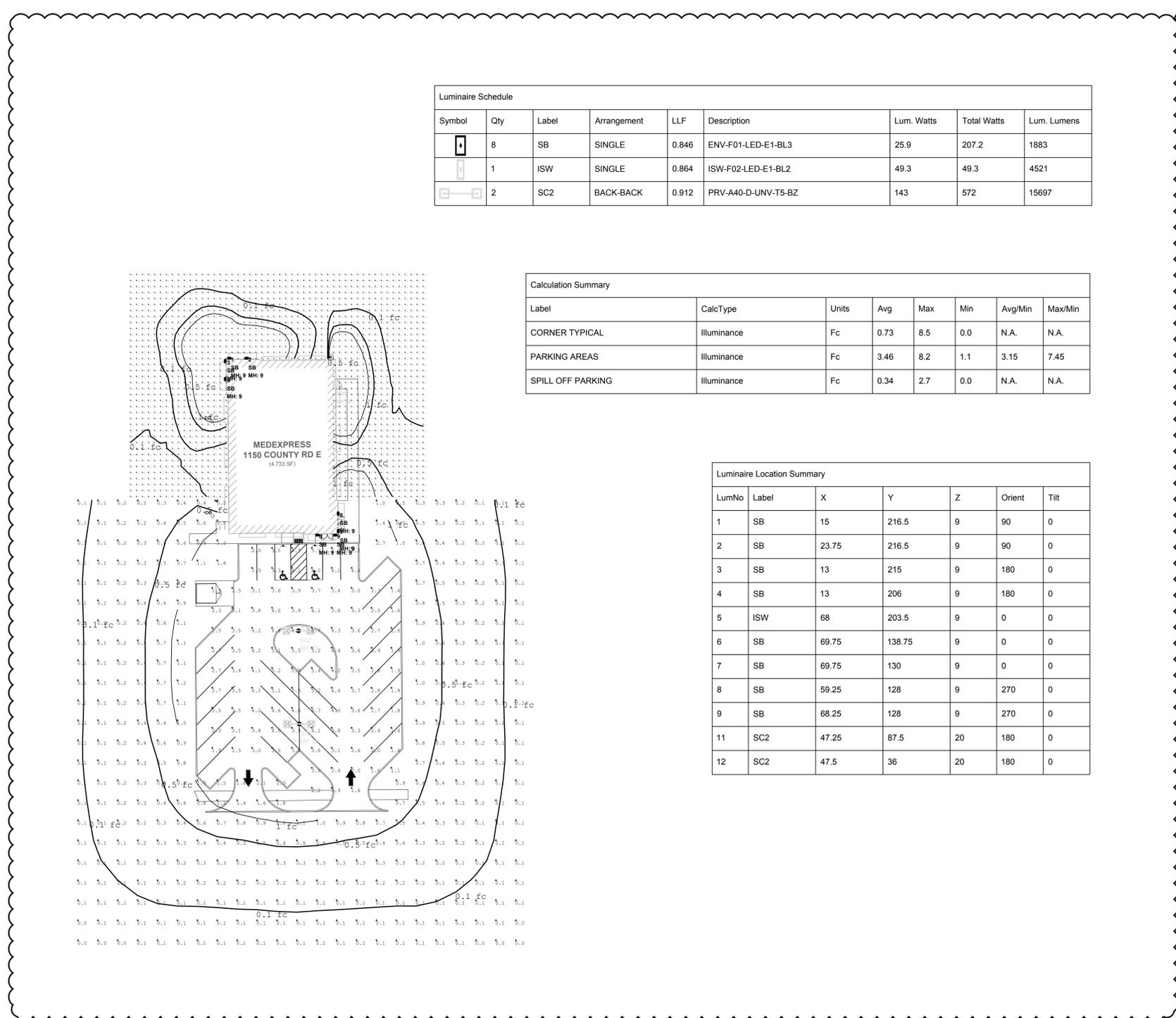
Signature: *Matthew I. Feil*
Date: 09/22/2016
License Number: 53153

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

MEDEXPRESS
ARDEN HILLS, MN
CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

ISSUE:	CONSTRUCTION DOCS
DATE:	08-30-2016
JOB NO.:	752647-01
DESIGN:	RDCII
DRAWN:	RDCII
CHECKED:	BB



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
	8	SB	SINGLE	0.846	ENV-F01-LED-E1-BL3	25.9	207.2	1883
	1	ISW	SINGLE	0.864	ISW-F02-LED-E1-BL2	49.3	49.3	4521
	2	SC2	BACK-BACK	0.912	PRV-A40-D-UNV-T5-BZ	143	572	15697

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CORNER TYPICAL	Illuminance	Fc	0.73	8.5	0.0	N.A.	N.A.
PARKING AREAS	Illuminance	Fc	3.46	8.2	1.1	3.15	7.45
SPILL OFF PARKING	Illuminance	Fc	0.34	2.7	0.0	N.A.	N.A.

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	SB	15	216.5	9	90	0
2	SB	23.75	216.5	9	90	0
3	SB	13	215	9	180	0
4	SB	13	206	9	180	0
5	ISW	68	203.5	9	0	0
6	SB	69.75	138.75	9	0	0
7	SB	69.75	130	9	0	0
8	SB	59.25	128	9	270	0
9	SB	68.25	128	9	270	0
11	SC2	47.25	87.5	20	180	0
12	SC2	47.5	36	20	180	0

SCALE: 1" = 30'

Sheet Notes:

- LM** Location Map
- CC** Sign Code Information
- SP** Site Plan
- EL1** **EL2** Elevation Drawings
- A** **B** **C** Channel Letters
- D** **E** **F** **G** Identifiers
- H** **I** **J** **K** Archons
- L** Door & Window Vinyl
- M** Open Sign



Sign Code Information

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

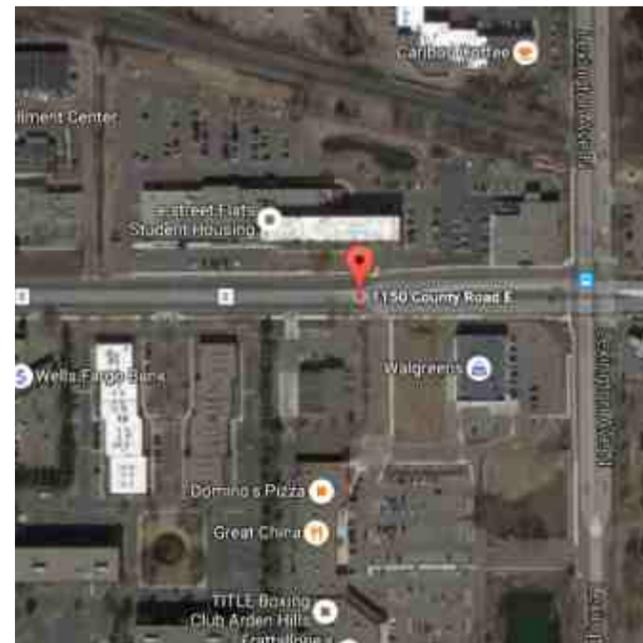
Municipality:
City of Arden Hills
1245 Highway 96
Arden Hills, MN 55112

Location Map & Sign Code Info



Location Map

1150 County Road E W, Arden Hills, MN 55112



PRE-PERMIT SIGN INFO		Property ID:	MedEx 20680
A.) Project Name:	Med Express	Date Completed:	8/22/16
B.) Street Address:	1150 County Rd E West		
C.) City / State / Zip:	Arden Hills, MN 55112		
D.) Municipal Contact:	Ryan Streff		
E.) Contact Phone:	651-792-7828	Email:	rstreff@cityofardenhills.org
F.) Address/City/ST/Zip:	1245 Highway 96, Arden Hills, MN 55112		
G.) Jurisdiction:	City/Town of: Arden Hills	Fax:	City Hall- 651-634-5137
H.) Zoning/Category:	B-2 General Business District		
I.) Permit app fee:	\$100		
J.) Permit Process time:	10 business days		Yes/No
K.) Permit required if only refacing?			No
L.) Is there a Variance/Appeals Process?			Yes
M.) Temporary Signs require Permit? Also give Time allowed:	10 days		Yes
N.) Temporary/coming-soon Banners allowed? If so, Sq footage:	50% of permanent wall sign		Yes
O.) Temporary freestanding Signs allowed? If so, Sq footage:	50% of permitted permanent freestanding sign		Yes
P.) May applications be mailed or must they be submitted in person?	Applications may be mailed		
Q.) Any 3rd Party Agencies involved?	No		
Notes:			
ATTACHED SIGNS			
1.) Formula for sq ft (Max.Sq. Ft- Main ID & 50sf Secondary signs):			
2.) Sq Ft for bldg. sides/rear:	Within sf allotment		
3.) Transferrable allowances?	Yes		
4.) # allowed: Any within sf allowance Illumination:	Internal & External		
5.) Calculation Method:	Geometric shape around advertsing message or cabinet perimeter if applicable		
6.) Max. Overall Height:	No regulation on height		
7.) Special Wall sign codes-this property:	No		
8.) Special storefront building colors:	No		
FREESTANDING SIGNS			
1.) Formula for sq ft (Max.Sq. Ft- Main ID & 50sf- Monument only Secondary signs):			
2.) # allowed:	1 per frontage Illumination: Internal & External Calculation Method: Count only largest sign face		
3.) Height Max:	10' Grade-to-sign Clearance: Monument- no clearance		
4.) Set-back:	5'		
DOOR/WINDOW VINYL			
1.) # Allowed:	In any or all windows Max Sq Ft: 35% of window not to exceed 5% of façade		
2.) Logos counted in sign area?	Yes		
3.) How long may signs be up?	May be permanent		
4.) Included in wall sign allowance?	No		
5.) Is an illuminated OPEN sign allowed inside the window?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Permit required? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
DIRECTIONAL SIGNS			
1.) # Allowed:	As needed Illumination: No		
2.) Max. SqFt:	8sf Max. Height: 8'		
3.) Permit:	Yes Custom Logo: Yes		
GEOMETRIC ELEMENT ARCHONS			
1.) Will the "plus symbol" be viewed as an architectural element or as signage?	Signage		
2.) Illumination:	Internal & External		
3.) If illumination is allowed and counts toward signage, is non-illuminated symbol treated as signage?	Yes		
AWNING INFORMATION			
1.) Allowed?	Yes Custom Logo: Yes		
2.) Max. Sq.Ft.	Part of wall sf		
3.) Max. Height:	12' Include design elements in sq.ft? Yes		
<small>Sign criteria is reported as presented to us as of the "Date Completed". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. Where required by local authority, it is understood a permit will be obtained prior to manufacture.</small>			

CLIENT APPROVAL:

Signature

Date:

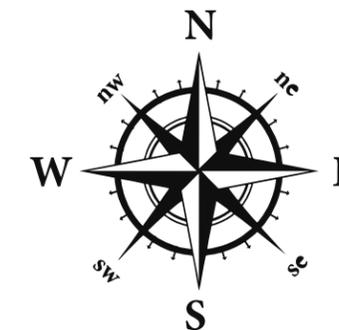
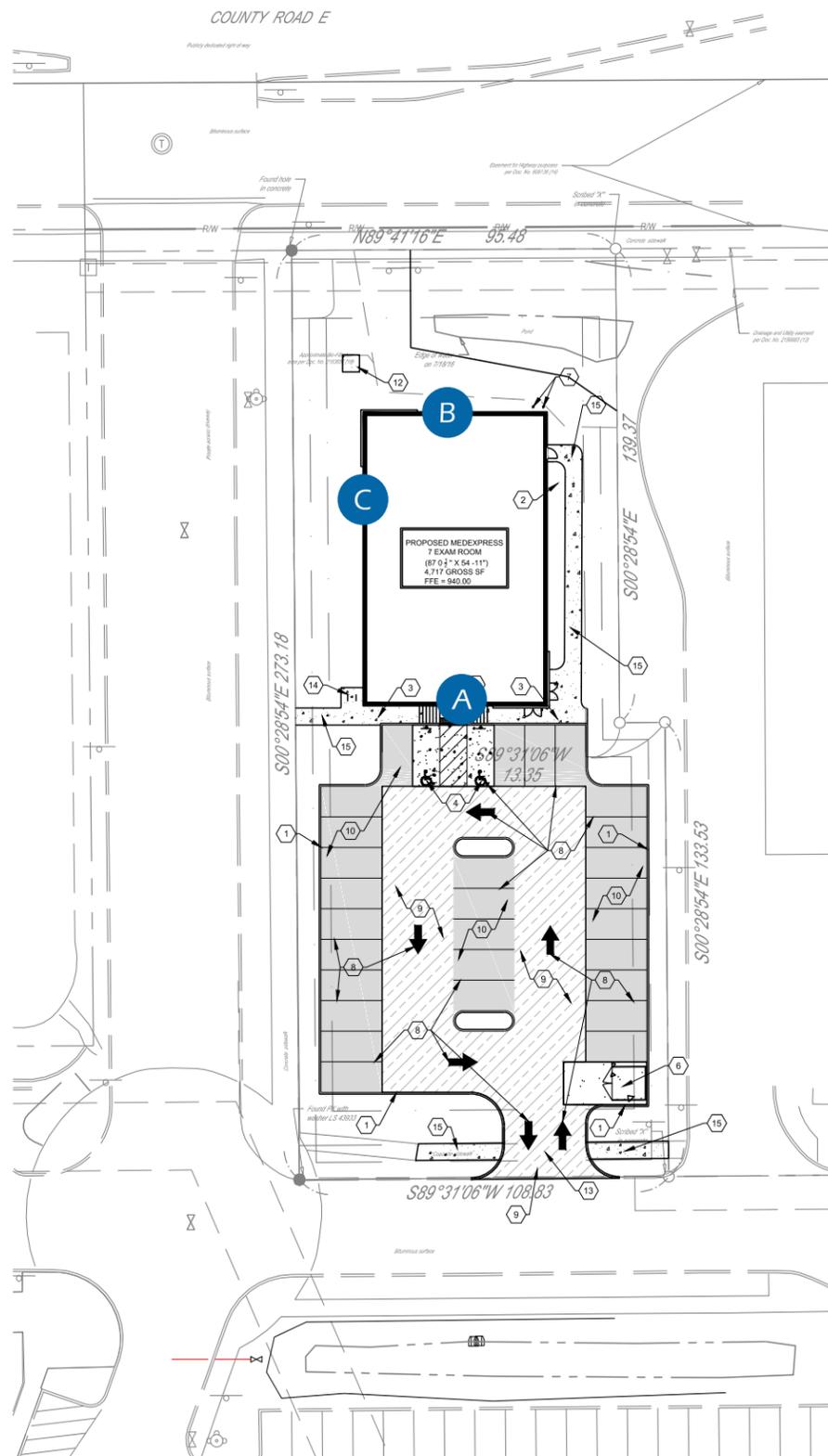
ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Site Plan



SP Site Plan
Scale: 1" = 50'-0"

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016



THIS DESIGN/ENGINEERING PROPOSAL WILL REMAIN THE EXCLUSIVE PROPERTY OF EGAN SIGN & AWNING CO. UNTIL APPROVED AND ACCEPTED THRU PURCHASE BY CLIENT NAMED DIRECTLY ON DRAWING AND MAY NOT BE DUPLICATED BY OTHER PARTIES OR DESIGN FEE WILL APPLY @ \$75.00 PER HOUR.

1100 BERKSHIRE BLVD. SUITE 200 WYMISSING, PA 19610 TEL: 610.478.1330 FAX: 610.478.1332



Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Elevation Drawings:



South Elevation
Total Proposed signage for South Elevation - 71.5sf



East Elevation
Total Proposed signage for East Elevation - 0sf

EL.1 Elevation Drawings

Scale: 1/8" = 1'-0"

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016



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1100 BERKSHIRE BLVD. SUITE 200 WYMISSING, PA 19610 TEL: 610.478.1330 FAX: 610.478.1332



Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Elevation Drawings:



North Elevation
Total Proposed signage for North Elevation - 71.5sf



West Elevation
Total Proposed signage for West Elevation - 57sf

EL.2 Elevation Drawings

Scale: 1/8" = 1'-0"

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Channel Letters (71.5 square feet):

Manufacture (3) 38" h x 271" w
sets of channel letters

Letters to be fabricated as
individual units and flush mounted

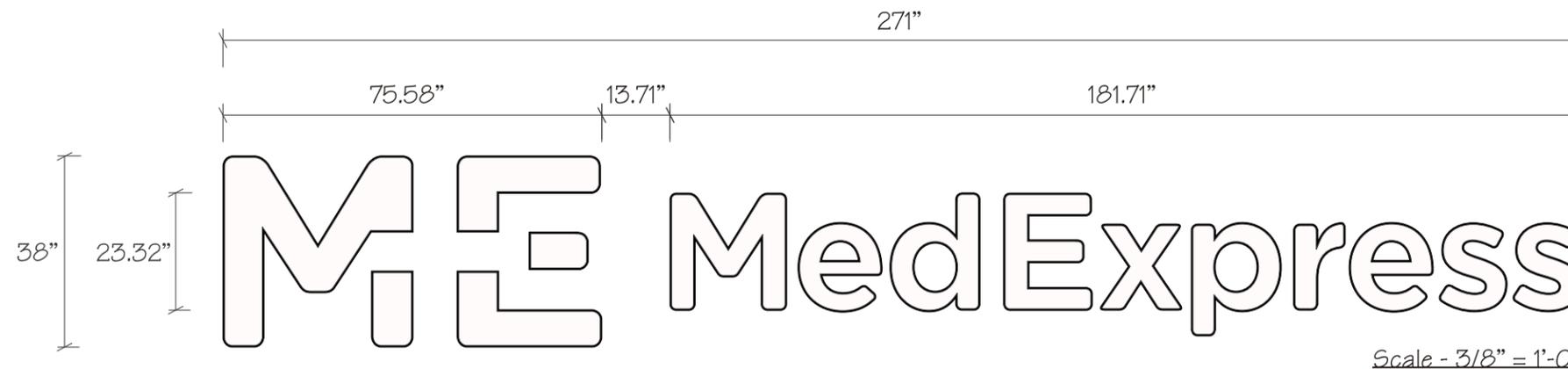
Faces to be back lit with LEDs

Color Key:

- White Optix LD (plexiglas faces)
- White (baked enamel finish) (returns, interior finish)
- Black (baked enamel finish) (returns)
- Black (Wagner Jewelite 1") (trim cap)
- Black (3M #3630-22 first surface vinyl) (1/4" border around letters)

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016

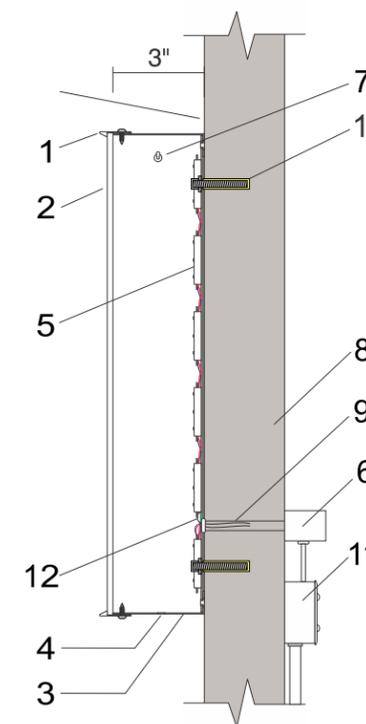
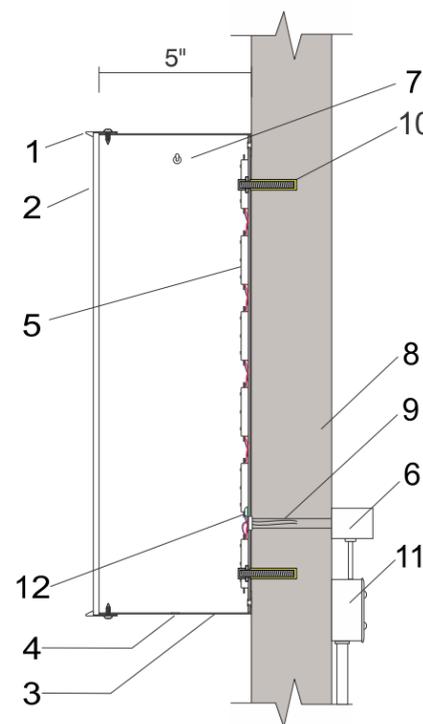


CROSS SECTION OF UL LISTED CHANNEL LETTERS WITH LEDS

- (1) 1" BLACK WAGNER JEWELITE TRIM CAP
- (2) 3/16" (thk) OPTIX LD PLEXIGLAS FACE W/ FIRST SURFACE 1/4" (thk) BLACK VINYL BORDER AROUND LETTERS (UNDER THE TRIM CAP)
- (3) .040" (thk) ALUMINUM RETURNS / .063 (thk) BACKER
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) JSLED - WHITE LED MODULES #JE-004W-05
COLOR TEMP. - 6000K-7000K
- (6) JSLED - POWER SUPPLY - MODEL #MJ-1260 / PART #6037170
- (7) DISCONNECT SWITCH
- (8) WALL CONSTRUCTION - (TYPICAL)
5/8" NICHIA PANEL / 5/8" PLYWOOD / METAL STUD FRAMING
- (9) LOW VOLTAGE CLASS 2 POWER LINE
- (10) NON-CORROSIVE 10/24 NUTSERT & 10/24 ALL-THREAD (to be trimmed in field)
EMBEDDED MIN 2" INTO EXISTING WALL STRUCTURE W/ CLEAR SILICONE
- (11) EXISTING 120 VOLT SERVICE
- (12) GROUND WIRE IN LETTER

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

All electric signs shown are UL listed and approved.
UL Listed



A B Channel Letters
71.5 square feet



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Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Channel Letters (57 square feet):

Manufacture (1) 34" h x 241.5" w set of channel letters

Letters to be fabricated as individual units and flush mounted

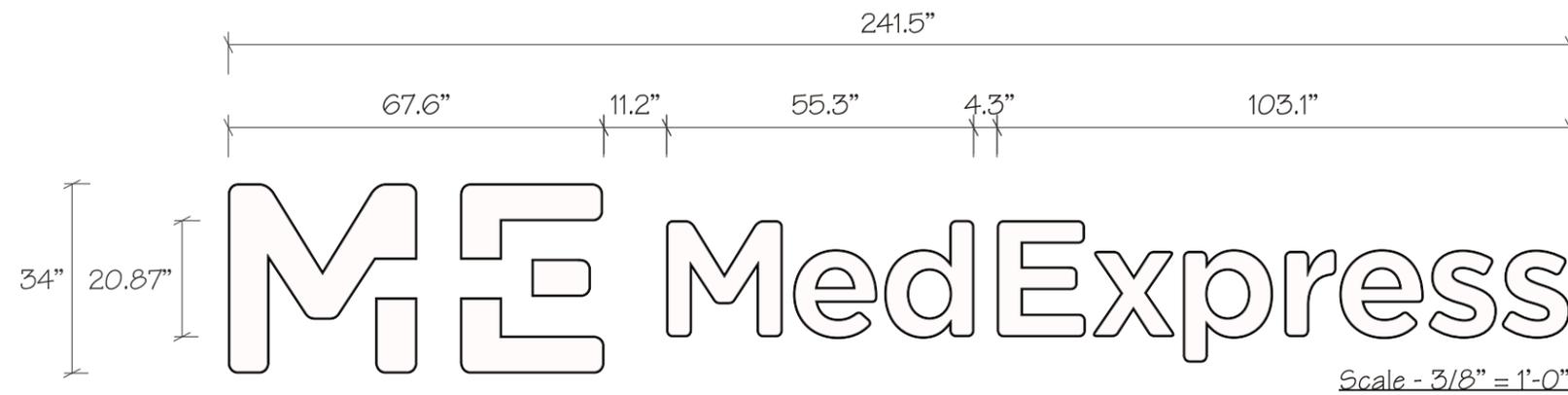
Faces to be back lit with LEDs

Color Key:

- White Optix LD (plexiglas faces)
- White (baked enamel finish) (returns, interior finish)
- Black (baked enamel finish) (returns)
- Black (Wagner Jewelite 1") (trim cap)
- Black (3M #3630-22 first surface vinyl) (1/4" border around letters)

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016

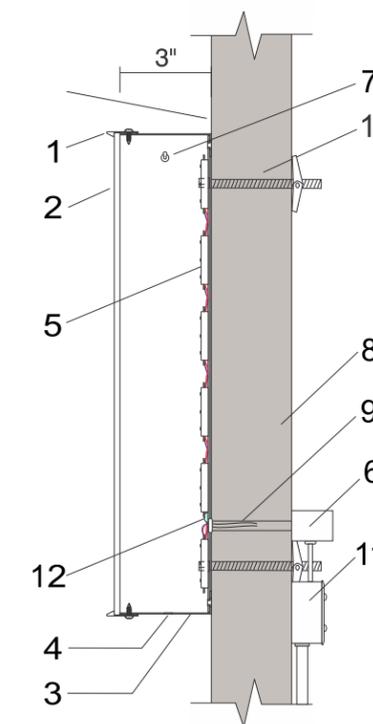
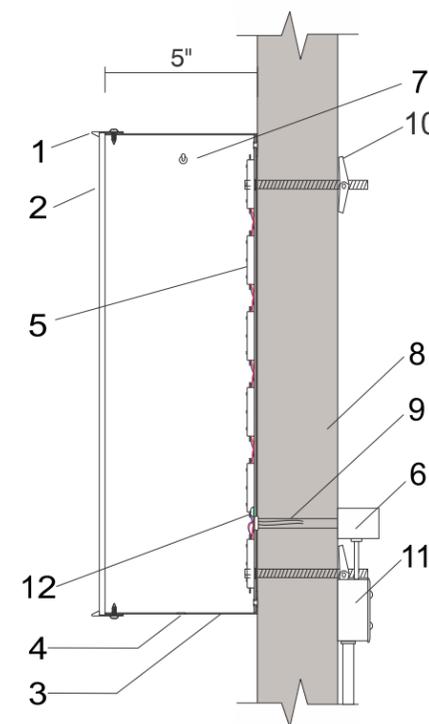


CROSS SECTION OF UL LISTED CHANNEL LETTERS WITH LEDS

- (1) 1" BLACK WAGNER JEWELITE TRIM CAP
- (2) 3/16" (thk) OPTIX LD PLEXIGLAS FACE W/ FIRST SURFACE 1/4" (thk) BLACK VINYL BORDER AROUND LETTERS (UNDER THE TRIM CAP)
- (3) .040" (thk) ALUMINUM RETURNS / .063 (thk) BACKER
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- (5) JSLED - WHITE LED MODULES #JE-004W-05
COLOR TEMP. - 6000K-7000K
- (6) JSLED - POWER SUPPLY - MODEL #MJ-1260 / PART #6037170
- (7) DISCONNECT SWITCH
- (8) WALL CONSTRUCTION - (TYPICAL)
5/8" NICHIA PANEL / 5/8" PLYWOOD / METAL STUD FRAMING
- (9) LOW VOLTAGE CLASS 2 POWER LINE
- (10) MOUNTING HARDWARE (1/4" Toggle Bolts)
(OPTIONAL MOUNTING HARDWARE - #10 X 3" SELF-TAPPING SCREWS)
- (11) EXISTING 120 VOLT SERVICE
- (12) GROUND WIRE IN LETTER

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

All electric signs shown are UL listed and approved.
UL Listed



Channel Letters
57 square feet

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Urgent Care Identifiers:

Manufacture (4) 12" h x 76" w
edge-lit signs

***Note: 76" width must be maintained from outside to outside of retainers due to install restrictions**

Color Key:

- Akzo Nobel Satin #Sign20070 color matched to PMS 484C (cabinet, retainers)
- Avery #A9330-T Cardinal Red first surface vinyl (face)
- Akzo Nobel Satin White (interior of cabinet)
- Optiplex 3/16" White Acrylic (letters)

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016



Scale - 1-1/2" = 1'-0"



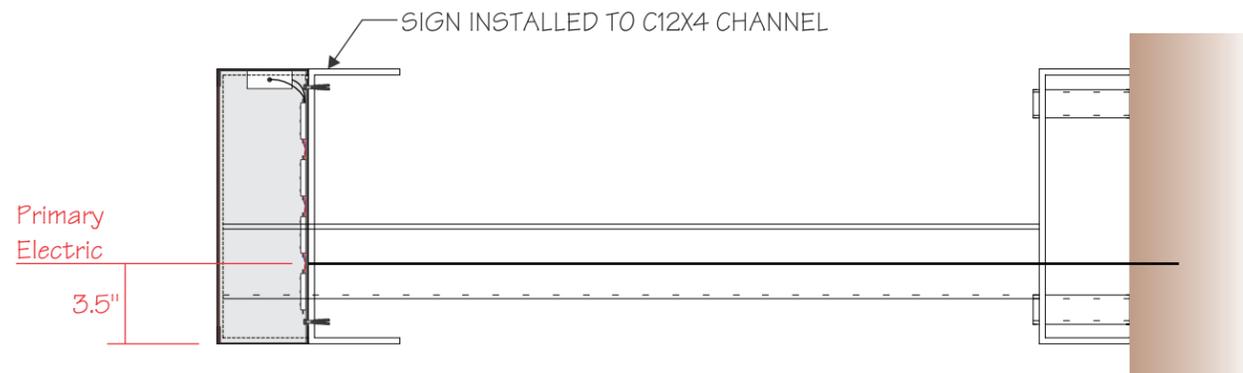
Canopy Reference - Pre-Install



Post-Install

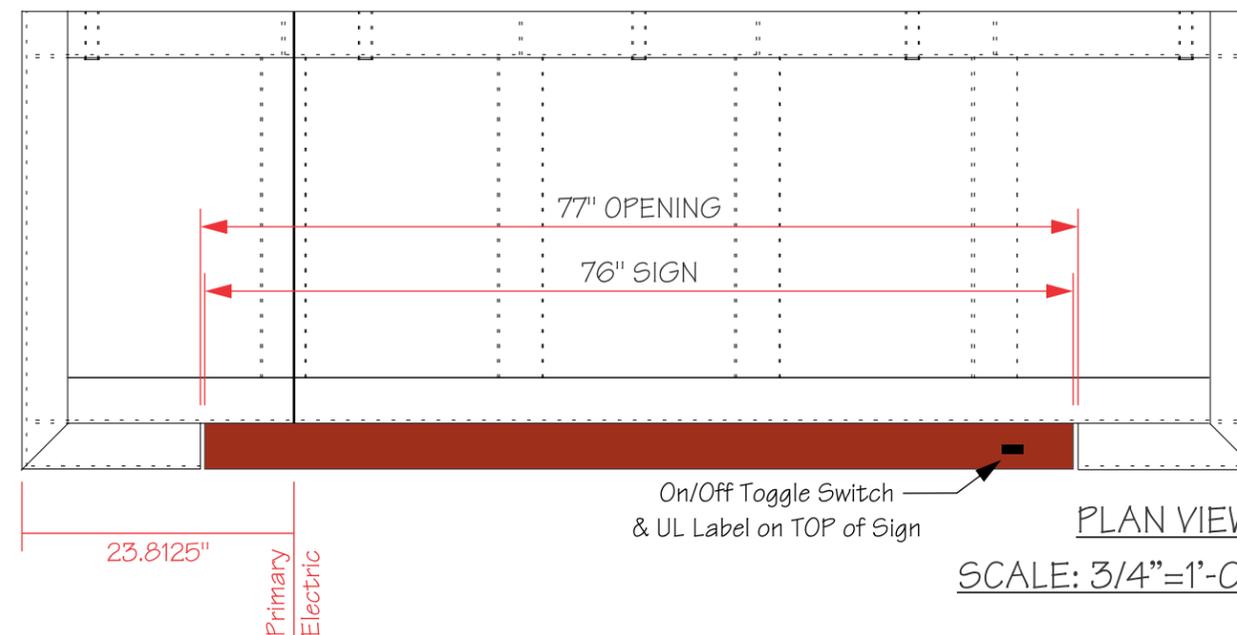
Specifications:

- Material: Aluminum Frame
- Finishes: PMS 484C Red
- Retainer: 1"
- Cabinet Depth: 4"
- Corner: Mitered
- Overall Size: 12" x 76"
- Face Cut Size: 11.875" x 75.875"
- Visible Opening: 10" x 74"
- Weight: 40#



SECTION VIEW
SCALE: 1-1/2" = 1'-0"

NOTE:
3/4" (DIA) HOLE @ 3.5" FROM
BOTTOM OF C12 (TYPICAL FRONT
AND BACK) FOR ELECTRICAL WHIP.
(BY OTHERS)



PLAN VIEW
SCALE: 3/4" = 1'-0"

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
UL Listed All electric signs shown are UL listed and approved.

D E F G Identifiers



THIS DESIGN/ENGINEERING PROPOSAL WILL REMAIN THE EXCLUSIVE PROPERTY OF EGAN SIGN & AWNING CO. UNTIL APPROVED AND ACCEPTED THRU PURCHASE BY CLIENT NAMED DIRECTLY ON DRAWING AND MAY NOT BE DUPLICATED BY OTHER PARTIES OR DESIGN FEE WILL APPLY @ \$75.00 PER HOUR.

1100 BERKSHIRE BLVD. SUITE 200 WYMISSING, PA 19610 TEL: 610.478.1330 FAX: 610.478.1332



Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Geometric Element Archon
(26.5 square feet):

Provide (2) 76.3" h x 69" w x 3"
deep non-illuminated fabricated
archons, mounted flush to five (5)
18" h x 88.125" w nichia panels on
newly framed bump out

Built in (2) sections

***Note: these are inside the glass
on the tower and not calculated
in square footage**

Color Key:

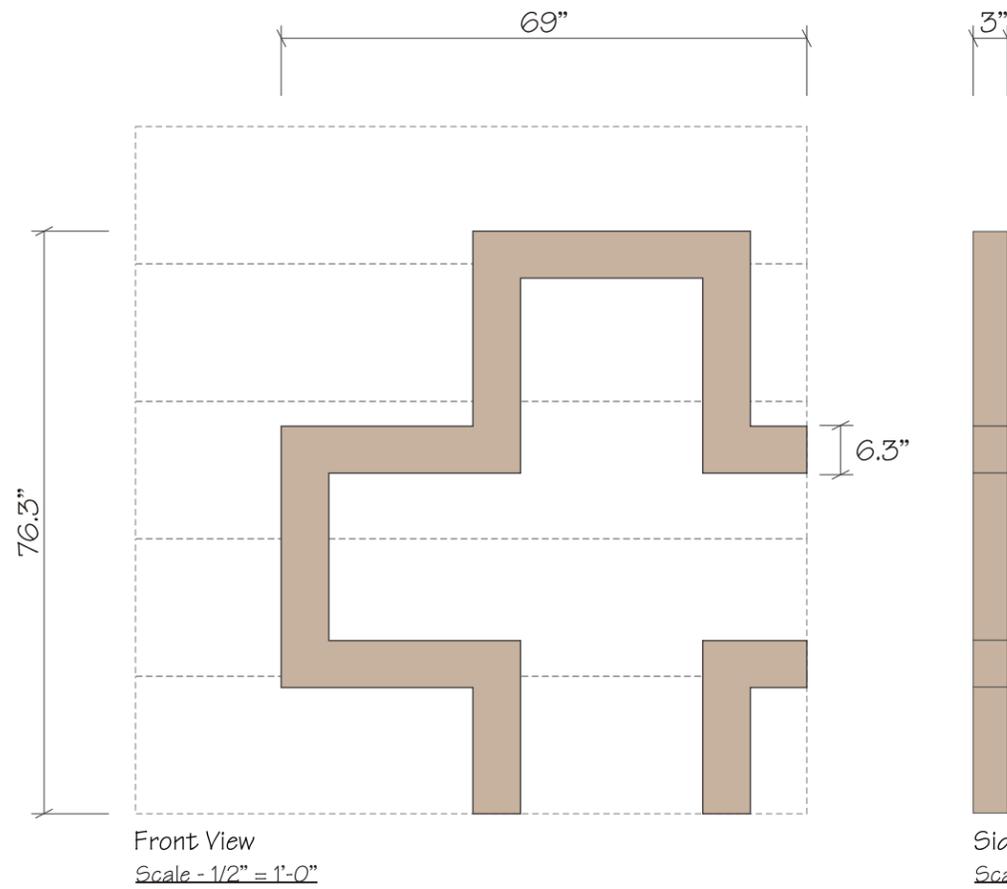
Akzo Nobel #Sign30398
(sprayed) cross matched to
SW 7540 Artisan Tan
(faces, returns)

ORIGINAL DATE:
09/20/2016

REVISION DATES:
09/21/2016
09/29/2016



Install Reference
Nichia panels installed by contractor
Archon to be installed flush bottom and right of nichia panels



72" (h) x 70" (w) Metal stud framed wall
bump out with (4) 18" h x 72" w Nichia Panels

.063" thick aluminum returns
welded to face painted
Akzo Nobel #Sign30398

Aluminum tubing drilled and
tapped for 1/4" allthread studs

1/8" aluminum tubing welded
to backside of letter

1/8" (thk) routed aluminum faces
painted Akzo Nobel #Sign30398

Allthread inserted into mounting
hole with silicone adhesive.
(or alternate thru wall with
washer and nut inside)

Section View
Scale - NTS

H I J K Geometric Element Archons



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Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Door & Window Vinyl
(1 square foot):

Manufacture (2) door vinyl and
(2) transom window vinyl address
numbers - see layout for placement

*Note: need phone number

Color Key:

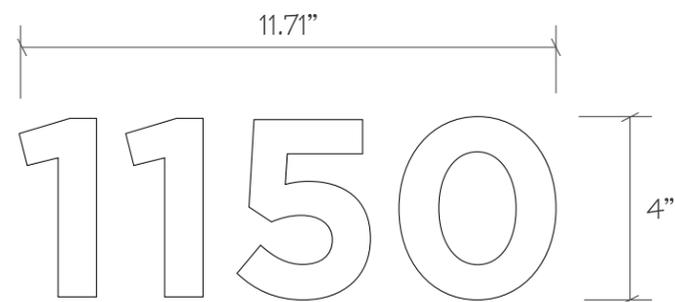
- Benjamin Moore Penny (2163-30)
- White
- Off White Background PMS Trans. White C-1, M-1, Y-2, K-0
- Khaki PMS 7502 C-25, M-25, Y-40, K-0
- Tin PMS 4570 C-65, M-57, Y-51, K-28
- White (transom vinyl)

ORIGINAL DATE:
09/20/2016

REVISION DATES:
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09/29/2016



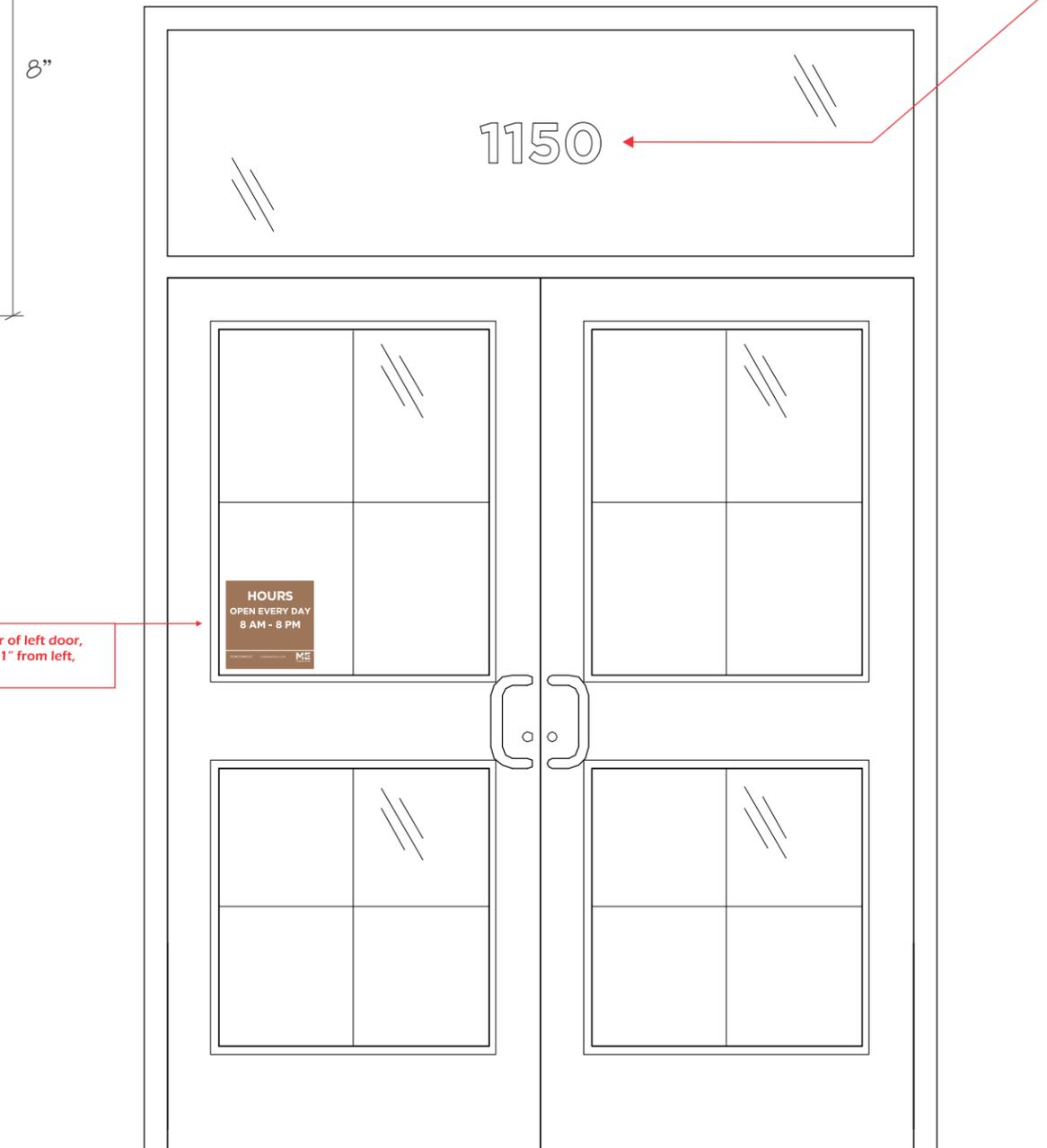
Material:
Base Layer - Oracal film
Middle Layer - HP poster graph paper
Face Layer - Seal over-laminating film with a mounting adhesive applied to first surface



Material:
Font - Gotham Bold
Vinyl - White (first surface)

Install bottom corner of left door, 1" from bottom and 1" from left, second surface.

Install centered in transom window first surface.



Proposed



Door & Window Vinyl

1 square foot

Scale: 3" = 1'-0"

Client:
MedExpress Headquarters
370 Southpointe Boulevard
Canonsburg, PA 15317

Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Description:

Open Sign (3.75 square feet):

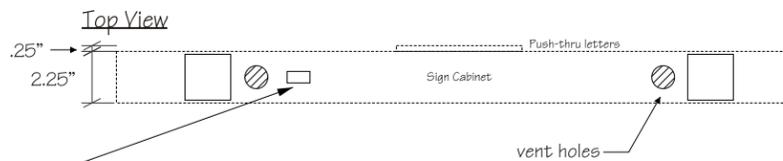
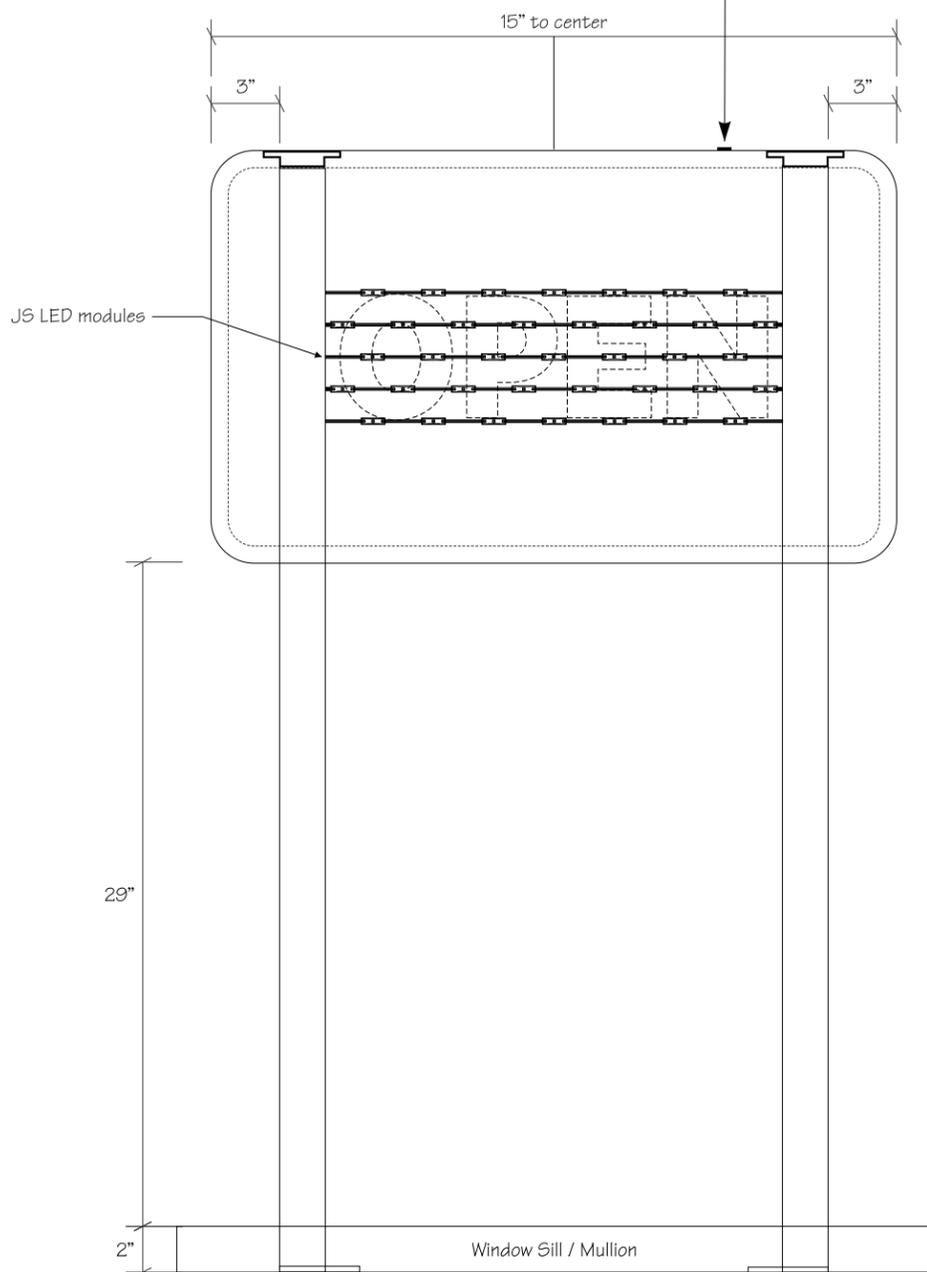
Manufacture (1) 18" h x 30" w LED illuminated Open sign with .25" push-thru acrylic letters on front of sign and painted backer on back of sign with flush mount door for service access to be mounted to window sill inside of window

Color Key:

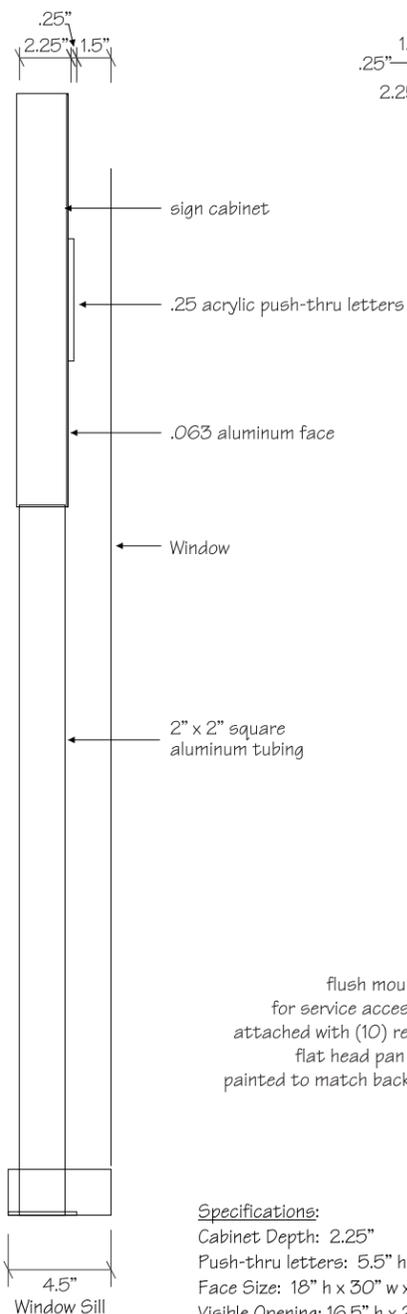
- Matthews paint Satin #642 (color matched to PMS 484C) (face)
- Matthews paint Satin White (interior of cabinet)
- #7328 White Acrylic (letters)
- Matthews paint Satin Black (cabinet, retainer & legs)
- Matthews paint (color matched to Benjamin Moore Classic Octobermist #1495) (solid back)
- Matthews paint (color matched to Benjamin Moore Classic Rain Tree Green #1496) (ME logos)

ORIGINAL DATE:
09/20/2016

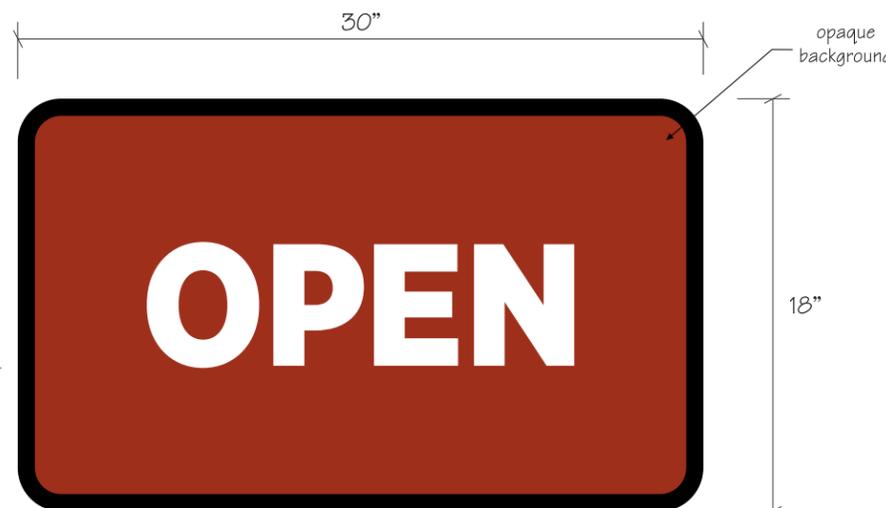
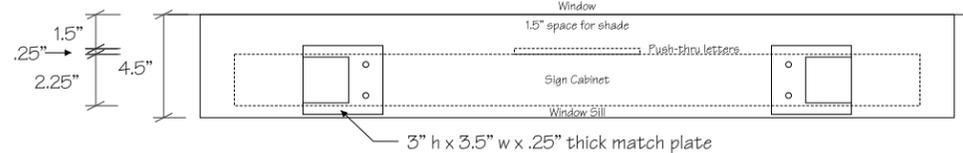
REVISION DATES:
09/21/2016
09/29/2016



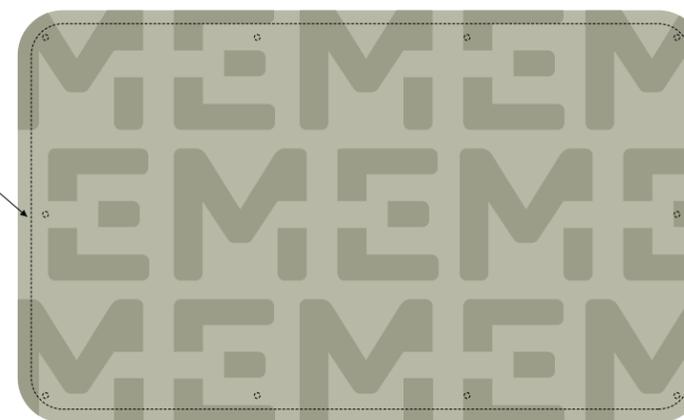
Side View



Bottom View



Front View



Back View

*Painted backer (see color key for colors)

Specifications:
Cabinet Depth: 2.25"
Push-thru letters: 5.5" h x .25" deep
Face Size: 18" h x 30" w x .063"
Visible Opening: 16.5" h x 28.5" w
Trim: .75"

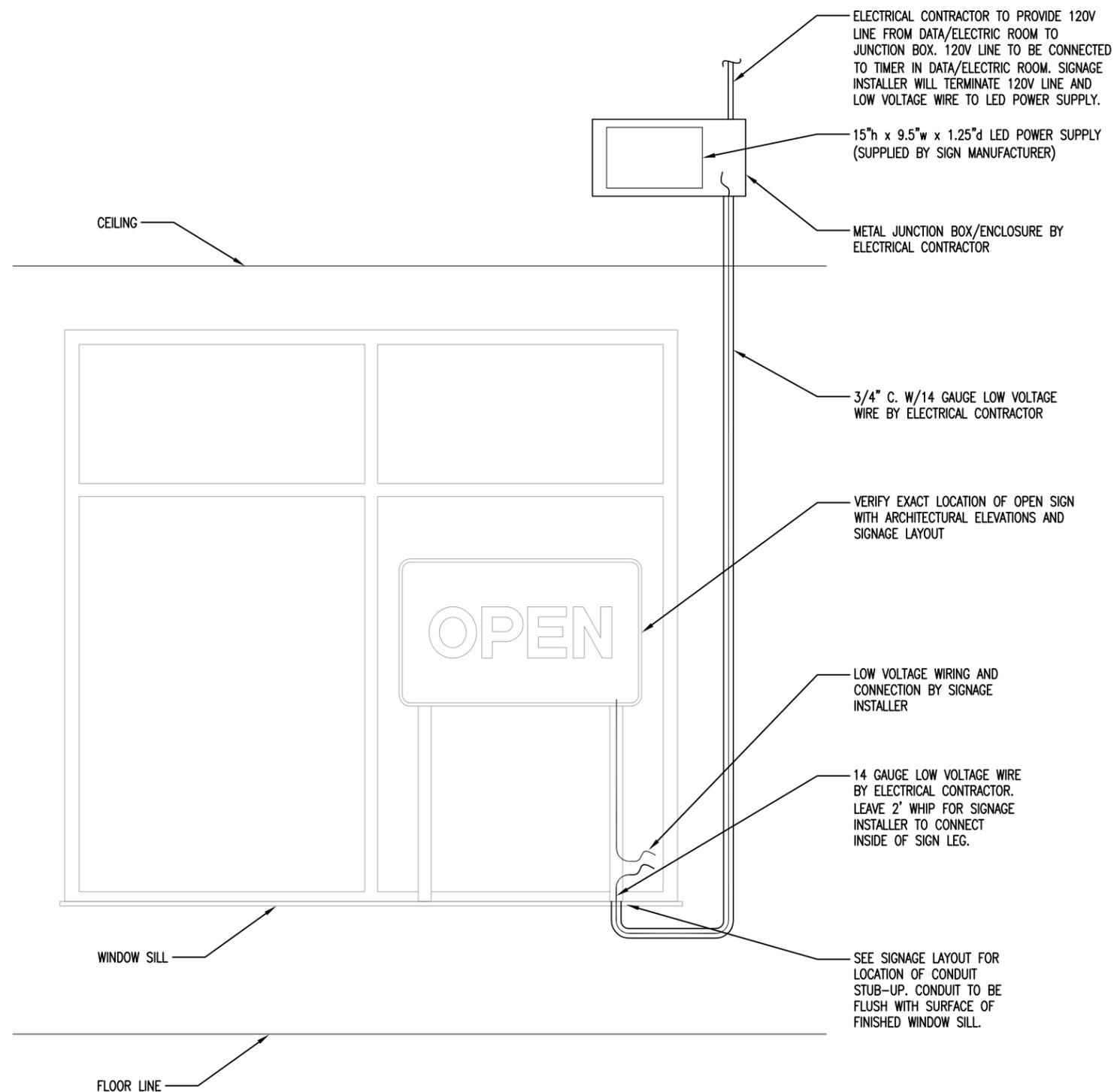


Open Sign

3.75 square feet

Scale - 1-1/2" = 1'-0"

Wiring Detail



E WINDOW OPEN SIGN DETAIL
SCALE: 3/4" = 1'-0"

M.1 Wiring Detail

ORIGINAL DATE:
09/20/2016

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Client:
MedExpress Headquarters
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Canonsburg, PA 15317

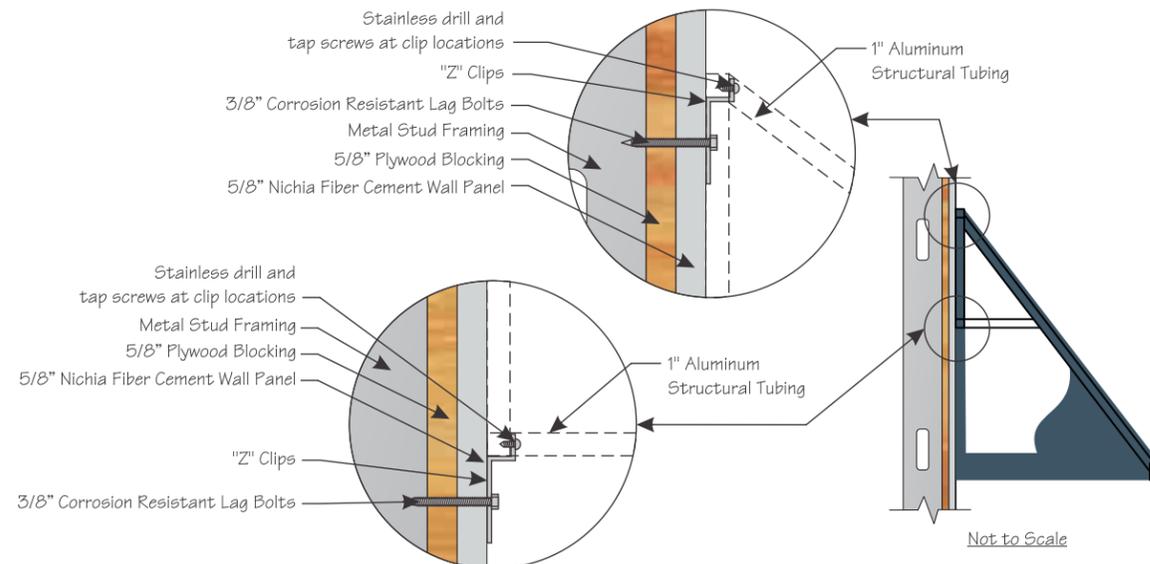
Address:
MedExpress
1150 County Road E W
Arden Hills, MN 55112

Awning Details
Manufacture awnings as follows:
Qty. (10) 62" h x 170"w

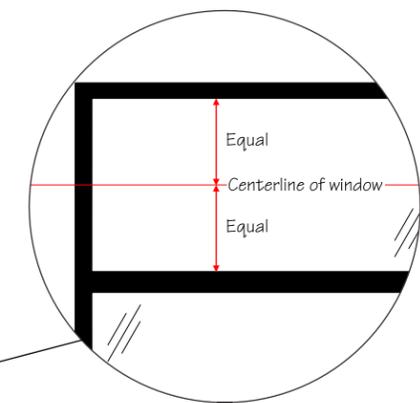
***Note: sizes to be verified before production**

Color Key:

75% PMS 5395 C
Steel Blue 6039



***Install Note: bottom of awnings to be installed at midway point of top (transom) windows (height from grade will vary per location)**



SAMPLE ELEVATION

ORIGINAL DATE:
09/20/2016

REVISION DATES:
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09/29/2016



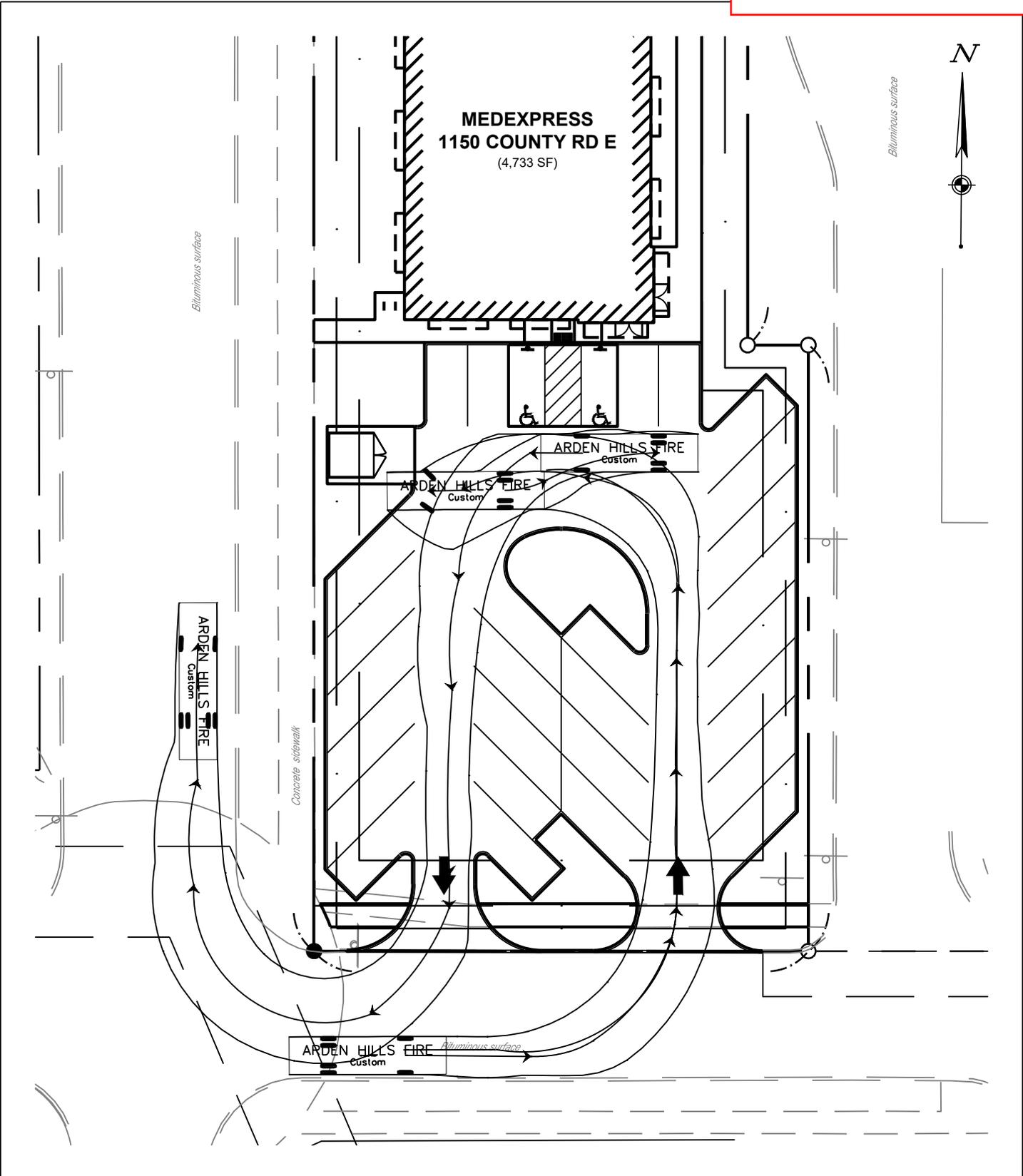
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1100 BERKSHIRE BLVD. SUITE 200 WYMISSING, PA 19610 TEL: 610.478.1330 FAX: 610.478.1332



Location:
Arden Hills, MN

SALES: KDA
DRAWN BY: DA



MEDEXPRESS - ARDEN HILLS, MN - FIRETRUCK TURNING MOVEMENT EXHIBIT



GRAPHIC SCALE (IN FEET)
1 inch = 30 ft.



CREATION TO COMPLETION
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JOB NO.:	752647
REF. SHT:	N/A
DESIGN:	JTF
DATE:	09.22.2016
SKETCH NO.	1

ATTACHMENT G







the power of possibilities™

Attachment H

Phone: 770-805-9466
Fax: 770-805-9467
nichiha.com

To whom it may concern,

This letter serves to provide a comparison between multiple aspects of a masonry wall system and Nichiha Fiber Cement panels with rain screen technology. The aspects considered include durability, maintenance, warranty, and aesthetic appearance.

Nichiha Fiber Cement (NFC) benefits vs. Brick

Durability and Maintenance and Installation

- NFC panels are much easier to maintain than traditional masonry due to the nanotechnology built into the wall panels. This process provides a self cleaning surface. As outside particles accumulate on the surface, they will be washed off with rainwater and will not penetrate the panel.
- NFC panels do not need as many expansion joints as traditional brick, aesthetically enhancing the overall look.
- No tuck pointing, or dealing with mortar that can decay, break down and become loose over time.
- NFC panels can be installed by anyone. No skilled labor needed. Traditional masonry requires a skilled craftsman and, in some cases, unions.
- NFC panels are very easy to replace, as opposed to traditional brick work. Again, you will not need a skilled mason for a repair. Also, panels can be replaced on an individual basis if a catastrophic event occurs (car or forklift running into the building)
- The only areas of maintenance on NFC panels would be at the expansion joints. Expansion joints with Nichiha brick panels are required at larger intervals than with brick, so it is less maintenance for the same look.



the power of possibilities™

6659 Peachtree Industrial Blvd.
Suite AA, Norcross, GA 30092
Toll Free: 1-86-NICHHA-1
(1-866-424-4421)
Phone: 770-805-9466
Fax: 770-805-9467
nichiha.com

Performance

- Nichiha panels are attached to the wall using a patented hidden clip system. This motherless attachment hold the panel 5mm off of the building substrate, creating a “Drained/back ventilated rain screen system” as defined by the AIA. This system effectively provides a way for moisture and water vapor to escape the envelope and prevents water penetration into the building.
- Brick is installed over the poured concrete sidewalks and moisture, if it penetrates the building envelope, becomes trapped and can cause water damage (structural wood decay, high indoor humidity, condensation, metal corrosion, ice dams, insect infestation, mold growth, etc)
- NFC panels provide easier installation of plumbing and electrical openings throughout the building
- NFC panels provide easier maintenance of signage/awnings as well as easier transitions to storefront windows
- Nichia panels install much quicker and can be installed in any weather. Because of no mortar, these panels can be installed in the winter months without the use of heat tents, reducing overall cost.

Warranty

- NFC panels come with a 50 year panel warranty. The paint finish comes with a 15 year warranty.
- Please click the following link for more information on the system and finish warranty: <http://www.nichiha.com/resources/warranties>



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6659 Peachtree Industrial Blvd.
Suite AA, Norcross, GA 30092
Toll Free: 1-86-NICHHA-1
(1-866-424-4421)
Phone: 770-805-9466
Fax: 770-805-9467
nichiha.com

Aesthetics

- Nichiha brick series panels provide the same look as traditional brick. They can also achieve different brick looks to match certain city requirements.
- Nichiha panels come in a 18" x 72" module and the panels are set in a staggered pattern. This means the product will be installed 9 square feet at a time. The result is a much quicker, cleaner install without the use of mortar.

Please view the following video link for a quick understanding of the installation process involved with this system:

<http://www.nichiha.com/commercial/install>

Please feel free to contact Michael Russo at Nichiha for any panel or clip sample requests. Installation guidelines and specs can be found on our website at www.nichiha.com .

Sincerely,

Michael Russo
National Accounts Project Manager
C: 770.597.5733
E: mrusso@nichiha.com



ARDEN HILLS
MEMORANDUM

DATE: October 5, 2016

PC Agenda Item **5.A**

TO: Planning Commission Chair Thompson and Commissioners

FROM: Matthew Bachler, Senior Planner

SUBJECT: Report from the City Council

September 12, 2016 City Council Regular Meeting

The City Council reviewed and approved Planning Case 16-017 for a side yard setback variance at 1536 Edgewater Avenue. This case was reviewed by the Planning Commission on August 3, 2016, and received a recommendation for approval (5-0).

The City Council also approved Planning Case 16-019 for a PUD Amendment and CUP Amendment for the Holiday Station at 1920 West Highway 96. An amendment to the approved PUD and CUP was needed to allow Holiday to complete a 296 square foot addition to the convenience retail store. The Planning Commission recommended approval (5-0) of this case at their meeting on August 3, 2016.

September 19, 2016 City Council Work Session

Representatives from Bremer Bank and Frauenshuh met with the City Council to discuss a concept plan for a possible Planned Unit Development at the southwest corner of Lexington Avenue and County Road F. The plans call for replacing the existing Bremer Bank with a new facility, as well as the development of a daycare facility and multi-tenant commercial building on the site. A formal application would be required for the PUD, and would include a public hearing with the Planning Commission and City Council review.

September 26, 2016 City Council Regular Meeting

The City Council reviewed and approved Planning Case 16-022 for a side setback variance at 1500 Arden Place. This case was reviewed by the Planning Commission on September 7, 2016, and received a unanimous recommendation for approval (7-0).



ARDEN HILLS
MEMORANDUM

DATE: October 5, 2016

PC Agenda Item **5.B**

TO: Planning Commission Chair Thompson and Commissioners

FROM: Matthew Bachler, Senior Planner

SUBJECT: Rice Creek Commons (TCAAP) and Update

Meetings

- On September 19th, the City Council met with the Master Developer team to review updated site plans.

Communications/Media

- On September 14th, the Mayor, along with County representatives and the Master Developer spoke at a Twin Cities North Chamber event regarding TCAAP.
- On September 29th, the Master Developer spoke at the Arden Hills State of the City event at Flaherty's Arden Bowl regarding TCAAP.