

ARDEN CROSSINGS

ARDEN HILLS, MINNESOTA

PRELIMINARY PLANS FOR: DEMOLITION, SITE, GRADING, UTILITIES AND LANDSCAPE

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- P1-1 PHOTOMETRIC PLAN

VICINITY MAP



PROPOSED
PROJECT
LOCATION

EXISTING	CIVIL LEGEND	PROPOSED
○	SANITARY MANHOLE	●
○	STORM MANHOLE	●
⊗	CATCH BASIN	⊗
⊗	CULVERT	⊗
⊗	HYDRANT	⊗
⊗	GATEVALVE	⊗
⊗	POST INDICATOR VALVE	⊗PIV
⊗	LIGHT POLE	⊗
⊗	POWER POLE	⊗
⊗	SIGN	⊗
⊗	BENCHMARK	⊗
⊗	SOIL BORINGS	⊗
⊗	WATER MANHOLE	⊗
⊗	TELEPHONE MANHOLE	⊗
⊗	UTILITY MANHOLE	⊗
⊗	ELECTRIC MANHOLE	⊗
—W—	WATER SERVICE	—W—
—S—	SANITARY SERVICE	—S—
—H—	HANDICAP PARKING	—H—
—1.0%	DIRECTION OF FLOW	—1.0%
924.6	SPOT ELEVATION	924.6
—924	CONTOURS	—924
—S—	SANITARY SEWER	—S—
—SS—	STORM SEWER	—SS—
—W—	WATERMAIN	—W—
—FM—	FORCEMAIN	—FM—
—DT—	DRAINTILE	—DT—
—S—	SILT FENCE	—S—
—C—	CURB & GUTTER	—C—
—R—	RETAINING WALL	—R—
—T—	TREELINE	—T—
—E—	EASEMENT LINE	—E—
—S—	SETBACK LINE	—S—
—X—	FENCE LINE	—X—
—TEL—	UNDERGROUND TELE	—TEL—
—GAS—	UNDERGROUND GAS	—GAS—
—OH—	OVERHEAD UTILITY	—OH—

DESIGN CONSULTANTS

CIVIL ENGINEER

LOUCKS ASSOCIATES
55 EAST 5TH STREET, STE 910
SAINT PAUL, MINNESOTA 55101

VICKI VAN DELL
TEL: 763-424-5505
EMAIL: VVANDELL@LOUCKSINC.COM

ARCHITECT

POPE ARCHITECTS
1295 BANDANA BLVD N, STE 200
SAINT PAUL, MINNESOTA 55108

JILL WINKLER
TEL: 651-642-9200
EMAIL: JWINKLER@POPEARCH.COM

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Vicki J. Van Dell - PE
License No. 41352
Date

QUALITY CONTROL

Loucks Project No.	14402.0A
Project Lead	VJV
Drawn By	WBS
Checked By	VJV
Review Date	10/19/16

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NORTHERN STATES
POWER COMPANY

4105 LEXINGTON NORTH, LLC

CARROLL VENTURES COMPANY

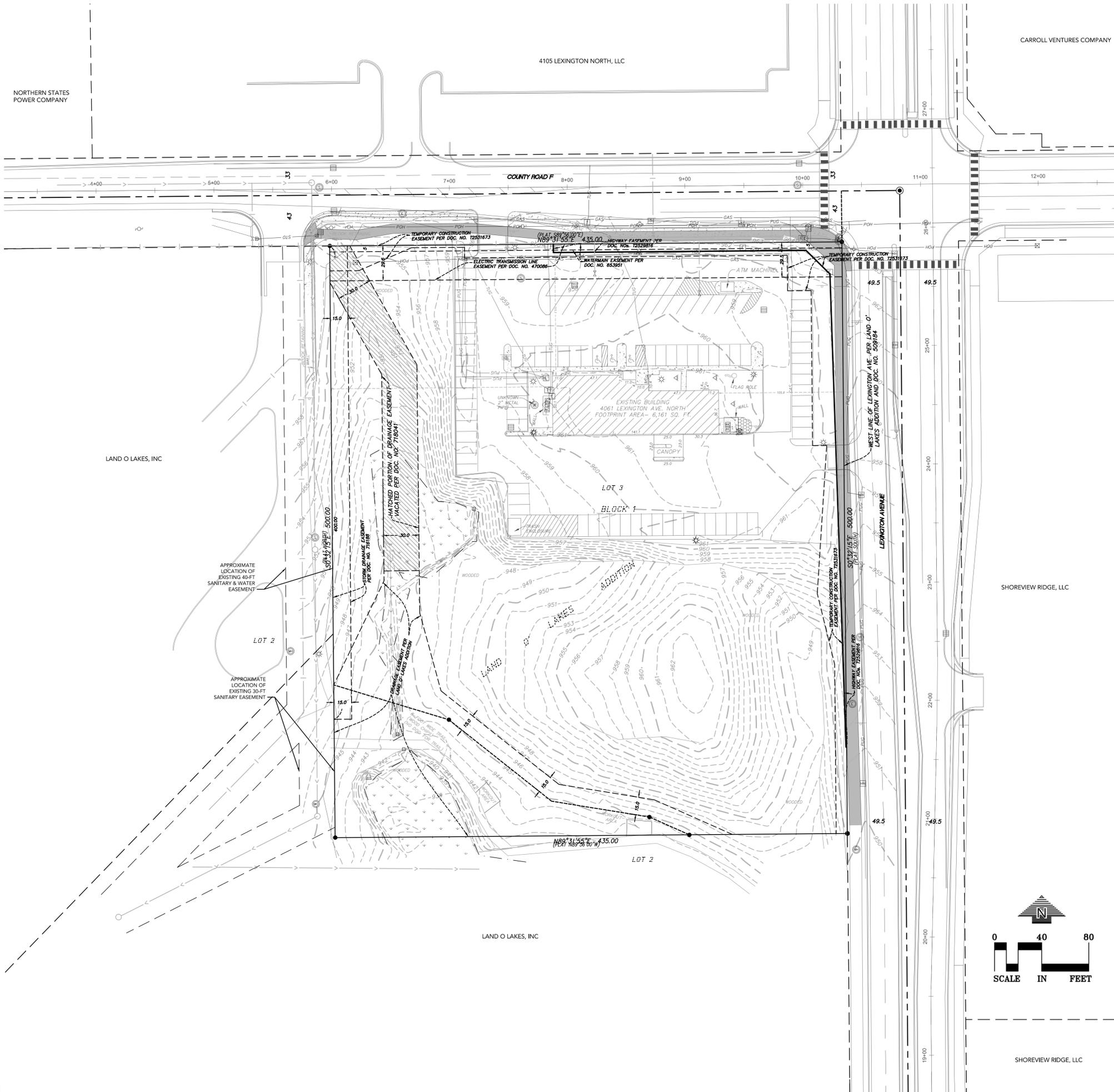
LAND O LAKES, INC

SHOREVIEW RIDGE, LLC

LAND O LAKES, INC

SHOREVIEW RIDGE, LLC

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GENERAL NOTES

- BACKGROUND INFORMATION IS BASED ON A FIELD SURVEY BY WESTWOOD AND RECORD UTILITY DRAWINGS FROM THE CITY OF ARDEN HILLS. LOUCKS ASSOCIATES DOES NOT GUARANTEE THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- WE HAVE SHOWN BURIED STRUCTURES AND UTILITIES ON AND/OR SERVING THE SITE TO THE BEST OF OUR ABILITY, SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - UTILITY OPERATORS DO NOT CONSISTENTLY RESPOND TO LOCATE REQUESTS THROUGH THE GOPHER STATE ONE CALL SERVICE FOR BOUNDARY PURPOSES SUCH AS THIS.
 - THOSE UTILITY OPERATORS THAT DO RESPOND, OFTEN WILL NOT LOCATE SERVICES FROM THEIR MAIN LINE TO THE CUSTOMER'S STRUCTURE OR FACILITY - THEY CONSIDER THOSE SEGMENTS PRIVATE INSTALLATIONS THAT ARE OUTSIDE THEIR JURISDICTION. IF A PRIVATE SERVICE TO AN ADJOINER'S SITE CROSSES THIS SITE OR A SERVICE TO THIS SITE CROSSES AN ADJOINER, IT MAY NOT BE LOCATED SINCE MOST OPERATORS WILL NOT MARK SUCH "PRIVATE" SERVICES.
 - SNOW AND ICE CONDITIONS DURING WINTER MONTHS MAY OBSCURE OTHERWISE VISIBLE EVIDENCE OF A BURIED STRUCTURE OR UTILITY.
 - MAPS PROVIDED BY OPERATORS, EITHER ALONG WITH A FIELD LOCATION OR IN LIEU OF SUCH A LOCATION, ARE VERY OFTEN INACCURATE OR INCONCLUSIVE.
 - THE SURFACE FEATURES AND ELEVATIONS SHOWN ON THIS DRAWING WERE LOCATED BY LOUCKS ASSOCIATES.
 - ALL OF THE UNDERGROUND UTILITY INFORMATION AND LOCATION SHOWN ON THIS PLAN WERE PREPARED FROM RECORD DRAWINGS OBTAINED FROM THE CLIENT AND THE CITY OF BEMIDJI RECORDS.
- EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651/454-0002.
- THERE MAY BE OTHER UTILITIES ON THE SITE THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE THE UTILITIES. NOTIFY THE ENGINEER IF THERE ARE OTHER SERVICES FOUND.

ALTA SURVEY

SEE ALTA SURVEY BY WESTWOOD FOR MORE INFORMATION.
THE EXISTING CONDITIONS SHOWN ARE FOR REFERENCE ONLY.

**ARDEN
CROSSINGS**

ARDEN HILLS, MN

BREMER BANK

BREMER BANK,
NATIONAL ASSOCIATION
8555 EAGLE POINT BLVD
LAKE ELMO, MN 55042

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

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WARNING

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THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



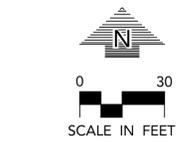
CALL BEFORE YOU DIG!

Gopher State One Call

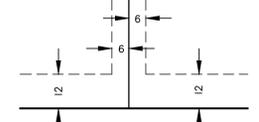
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

**EXISTING
CONDITIONS**

C1-1



NOT TO SCALE
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 6 FEET IN WIDTH, UNLESS OTHERWISE INDICATED AND ADJOINING LOT LINES, AND BEING 12 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAT.

THE EAST LINE OF THE NE 1/4, SEC. 27, TWP. 30, RING 23 IS ASSUMED TO HAVE A BEARING OF SOUTH 0°32'15" EAST

- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "LS 48988"
- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND

PRELIMINARY PLAT GENERAL NOTES

SURVEYOR:
Loucks Associates, Inc.
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55330
763-424-5505

OWNER/DEVELOPER:
BREMER BANK
855 Eagle Point Blvd.
Lake Elmo, MN 55042
651-734-4036

LEGAL DESCRIPTION:
Lot 3, Block 1, Land O' Lakes Addition, Ramsey County, Minnesota

DATE OF PREPARATION:
October 2016

EXISTING ZONING:
Zone (I-1) Limited Industrial District

AREAS:

Proposed Lot 1 =	45,890 Sq.Ft. or 1.05 Acres
Proposed Lot 2 =	43,305 Sq.Ft. or 0.99 Acres
Proposed Lot 3 =	47,148 Sq.Ft. or 1.08 Acres
Proposed Outlot A =	76,849 Sq.Ft. or 1.76 Acres
Right of way Dedication =	4,308 Sq.Ft. or 0.10 Acres
Total Property Area =	217,500 Sq.Ft. or 4.99 Acres

PROPOSED BUILDING SETBACKS:

Front	= 55 Feet
Side (Corner)	= 50 Feet
Side (Interior)	= 20 Feet
Rear	= 20 Feet

FLOOD ZONE DESIGNATION:
This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27123C0010G, Community Panel No. 270375 0010 G, effective date of June 4, 2010.

NOTE:
The contours and site improvements shown hereon are per an ALTA/ACSM Land Title Survey prepared by Westwood Professional Services, Inc. dated January 13, 2016 for Fraienshuh Companies.

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PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

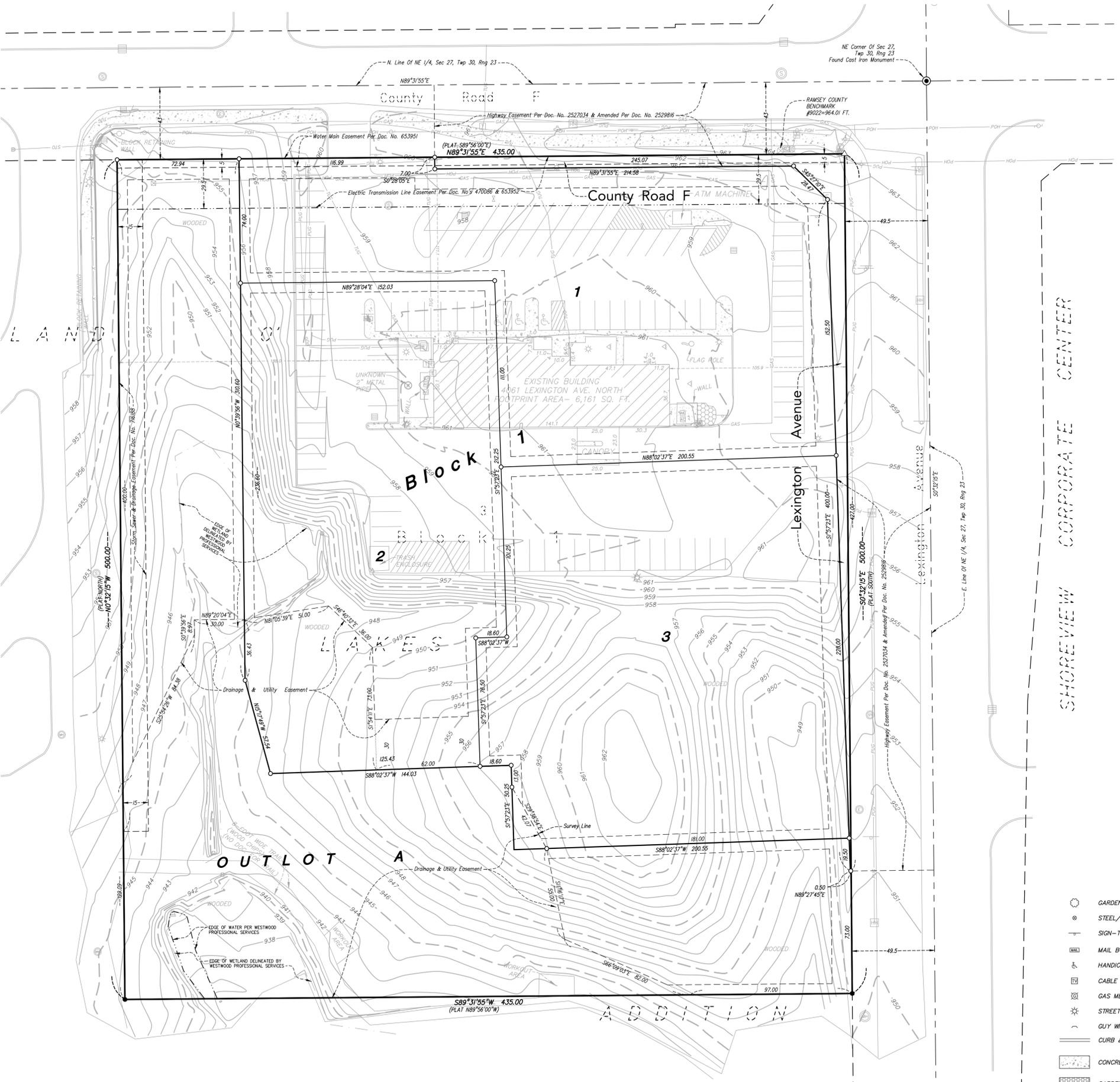
Max L. Stanislawski - PLS
License No. 48988
Date 10/3/16

QUALITY CONTROL

Loucks Project No. 14-402
Project Lead MLS
Drawn By SFM
Checked By MLS
Field Crew SH/BH

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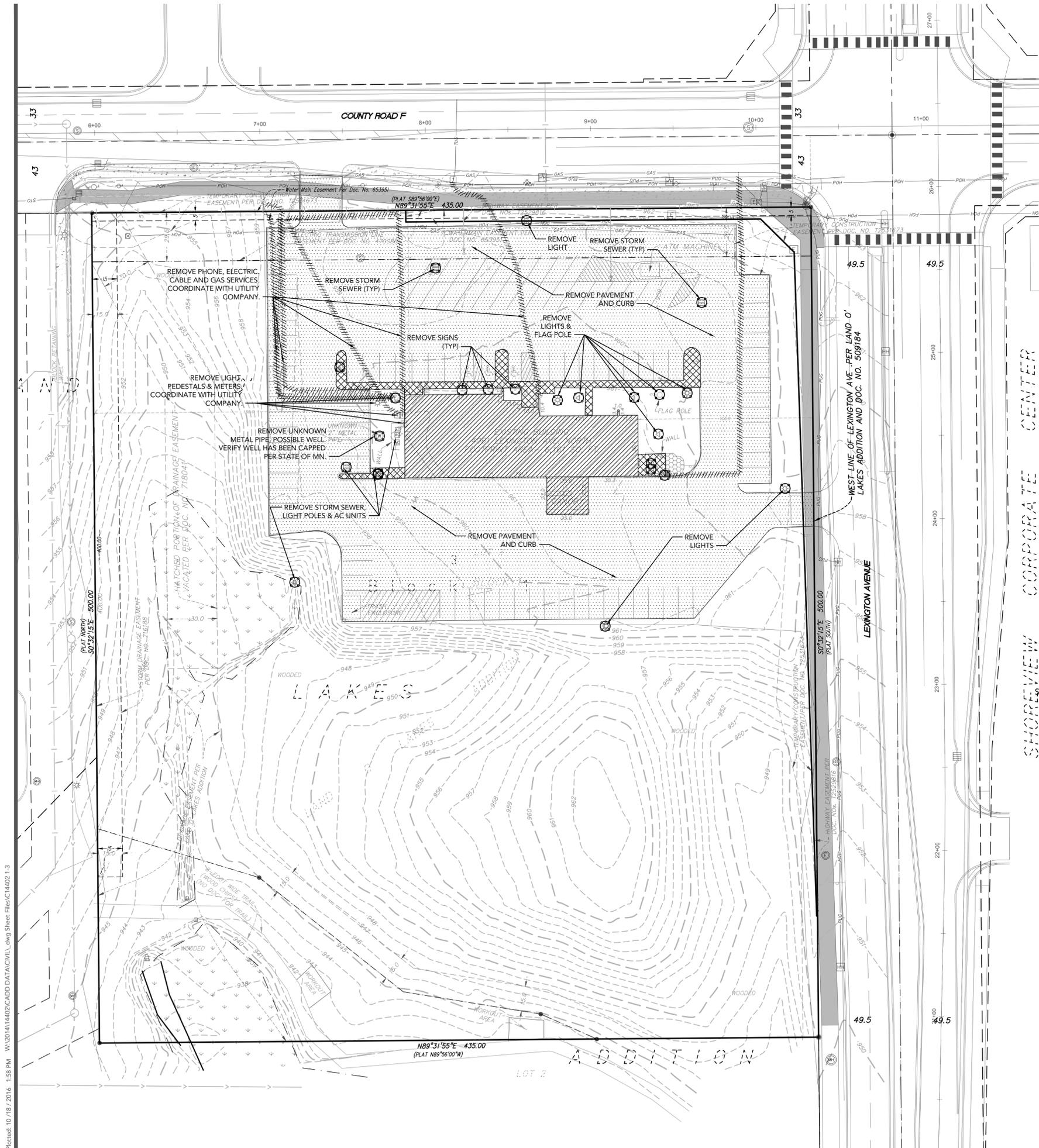


SHOREVIEW CORPORATE CENTER

○	GARDEN AREA	⊙	STORM MANHOLE	⊙	SANITARY MANHOLE
●	STEEL/WOOD POST	□	TELEPHONE BOX	⊕	BEEHIVE CATCH BASIN
+	SIGN-TRAFFIC/OTHER	⊙	TELEPHONE MANHOLE	▭	CATCH BASIN
✉	MAIL BOX	⊙	HAND HOLE	⊙	FLARED END SECTION
♿	HANDICAPPED STALL	⊙	GATE VALVE	⊙	POWER POLE
ⓧ	CABLE TV BOX	⊙	HYDRANT	⊙	ELECTRIC BOX
Ⓜ	GAS METER	⊙	CURB STOP BOX	⊙	ELECTRIC MANHOLE
Ⓜ	STREET LITE	⊙	WATER MANHOLE	—PUG—	POWER UNDERGROUND
—	GUY WIRE	—GAS—	GAS LINE	—TUG—	TELEPHONE UNDERGROUND
—	CURB & GUTTER	—POH—	POWER OVERHEAD	—X—	FENCE LINE
▭	CONCRETE SURFACE	—		—	EDGE OF WOODED AREA
▭	GARDEN AREA				

PRELIMINARY PLAT

C1-2



DEMOLITION NOTES

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- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE SHEET C3-2 FOR DETAILS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE SITE PERIMETER AS SHOWN AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON SHEET C3-2 & C8-1 OF THE PROJECT PLANS.
- ALL CONSTRUCTION ACTIVITY INCLUDING STOCKPILING, STAGING & PARKING MUST TAKE PLACE ON-SITE.
- TEMPORARY STREET SIGNS, LIGHTING & ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A CITY & COUNTY PERMIT FOR OBSTRUCTIONS AND WORK WITHIN RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION.
- PROTECT EXISTING SITE FEATURES THAT ARE NOT NOTED FOR REMOVAL. IF DISCREPANCIES ARISE, NOTIFY ENGINEER IMMEDIATELY FOR RESOLUTION.
- WE HAVE SHOWN EXISTING SERVICES BASED ON CITY AS-BUILTS & A GOPHER ONE LOCATE. THERE MAY BE SERVICES THAT ARE NOT SHOWN.
- NO WORK TO BE DONE OUTSIDE OF CONSTRUCTION/SILT FENCE WITHOUT PRIOR AUTHORIZATION FROM ENGINEER.
- THE REMOVAL OF EXISTING SERVICES WITHIN THE CONSTRUCTION LIMITS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND UTILITY OWNER. ADDITIONAL SERVICES MAY EXIST THAT ARE NOT SHOWN.
- SANITARY SEWER SERVICES ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATION & REMOVE.
- EXISTING STORM SEWER PIPES NOT SHOWN. STORM SEWER PIPES IN AND FROM THE PARKING LOT WILL NEED TO BE REMOVED.

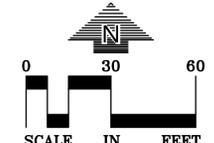
LEGEND

- ***** REMOVE EXISTING FENCE
- ////// REMOVE EXISTING UNDERGROUND UTILITIES
- XXXXXX REMOVE EXISTING CONCRETE
- REMOVE EXISTING LIGHT POLES
- ▨ REMOVE EXISTING BUILDINGS
- ▨ REMOVE EXISTING BITUMINOUS
- ✕ REMOVE EXISTING TREES SEE TREE INVENTORY FOR DETAILS

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 TOLL FREE: 1-800-252-1166

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DEMOLITION PLAN
C1-3

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SITE DATA

ZONING

CURRENT ZONING: I1
PROPOSED ZONING: I1

AREA

TOTAL SITE AREA = 213,192SF, 4.89 ACRES, 100%
IMPERVIOUS SURFACE AREA = 80,965SF, 1.86 ACRES, 38.0%
PERVIOUS SURFACE AREA = 132,227SF, 3.03 ACRES, 62.0%

SETBACKS-BUILDING

FRONT YARD: 50 FT
STREET SIDE SETBACK: 50 FT

SETBACKS-PARKING

FRONT YARD: 20 FT
STREET SIDE SETBACK: 20 FT
FRONT YARD DRIVE AISLE: 10 FT

PARKING

SURFACE REGULAR STALLS: 98 STALLS
SURFACE ACCESSIBLE STALLS: 6 STALLS
TOTAL SURFACE STALLS: 104 STALLS

PROOF OF PARKING STALLS: 8 STALLS

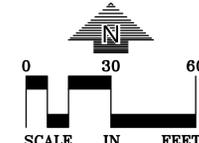
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- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- CONTRACTOR SHALL OBTAIN A CITY & COUNTY PERMIT FOR OBSTRUCTIONS AND WORK WITHIN RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE A 3 FOOT TAPER AT ALL CURB TERMINI.
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE REQUIREMENTS OF THE CITY. SEE LANDSCAPE AND ARCHITECTURAL PLANS FOR ANY ADDITIONAL HARDSCAPE APPLICATIONS.
- THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPT. AND THE CONSTRUCTION ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE STREET RIGHT OF WAY (SIDEWALK, STREET OR DRIVEWAYS).
- ANY SIGN OR FIXTURES REMOVED WITHIN THE RIGHT OF WAY OR AS PART OF THE SITE WORK SHALL BE REPLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY REQUIREMENTS. THE CONTRACTOR SHALL PRESERVE AND MAINTAIN ANY EXISTING STREET LIGHTS AND TRAFFIC SIGNS PER THE REQUIREMENTS OF THE CITY.
- A SIGNIFICANT PORTION OF SITE IMPROVEMENTS NOT SHOWN ON THIS SHEET ARE DESCRIBED AND PROVIDED IN FURTHER DETAIL ON THE ARCHITECTURAL AND LANDSCAPE PLANS. THIS INCLUDES LANDSCAPING, LIGHTING AND OTHER FIXTURES.
- B612 CONCRETE CURB AND GUTTER SHALL BE INSTALLED AT THE EDGE OF ALL COMMON DRIVES AND PARKING LOTS WITHIN THE SITE, UNLESS NOTED OTHERWISE.
- DISABLED PARKING SIGNAGE & PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ADA & MINNESOTA RULES 1341.0502.
- CITY ENGINEERING STAFF MUST BE PRESENT TO INSPECT ALL CONCRETE FORMS IN PUBLIC RIGHT-OF-WAY PRIOR TO POUR. MINIMUM 24 HOUR NOTICE REQUIRED.
- "NO PARKING FIRE LANE" SIGNS MUST BE INSTALLED AS INDICATED BY THE CITY FIRE CHIEF. VERIFY EXACT LOCATIONS AND NUMBER OF REQUIRED SIGNS WITH THE CITY FIRE CHIEF. SIGNAGE MUST BE INSTALLED PRIOR TO THE FINAL OCCUPANCY INSPECTION.

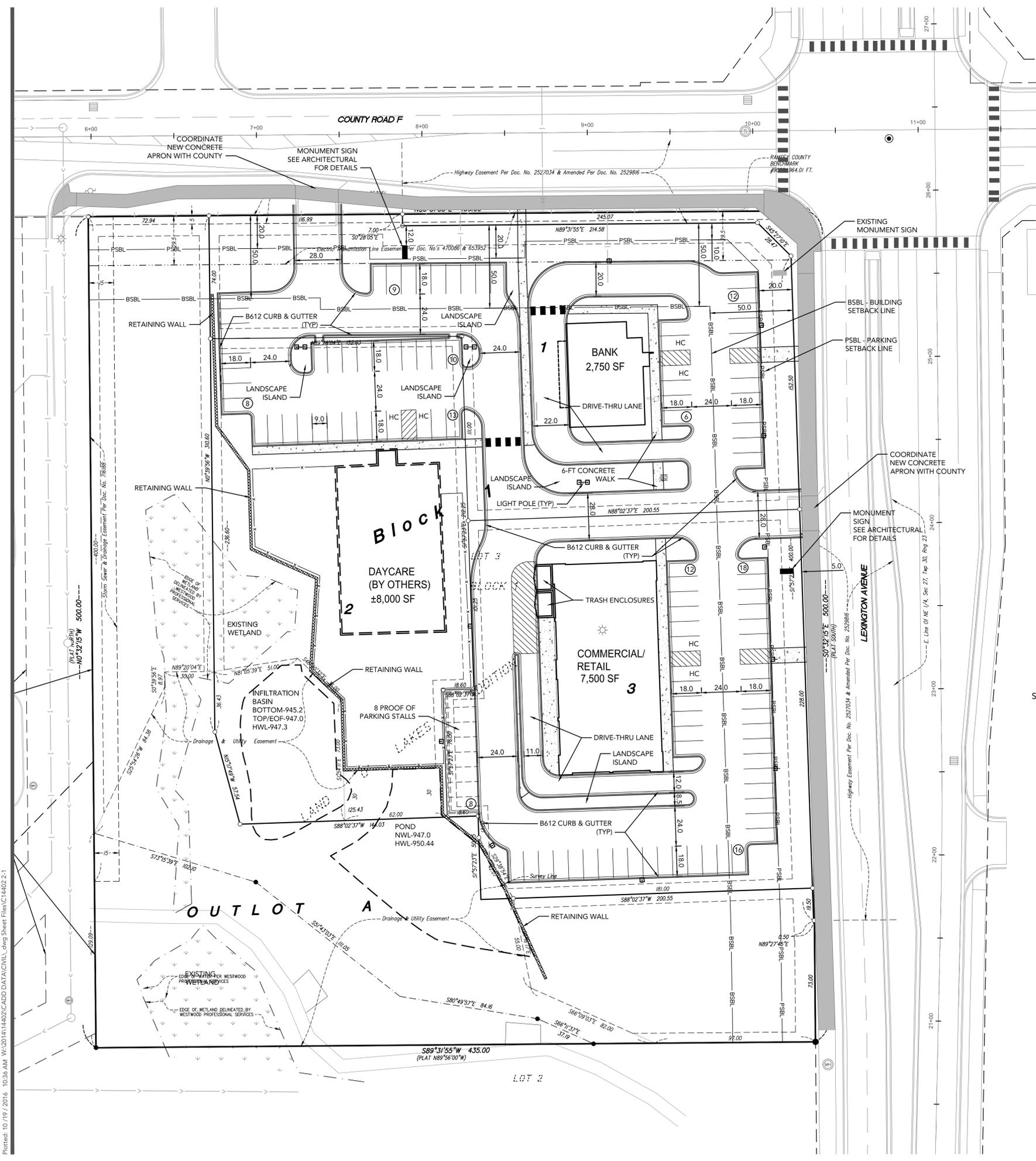
WARNING

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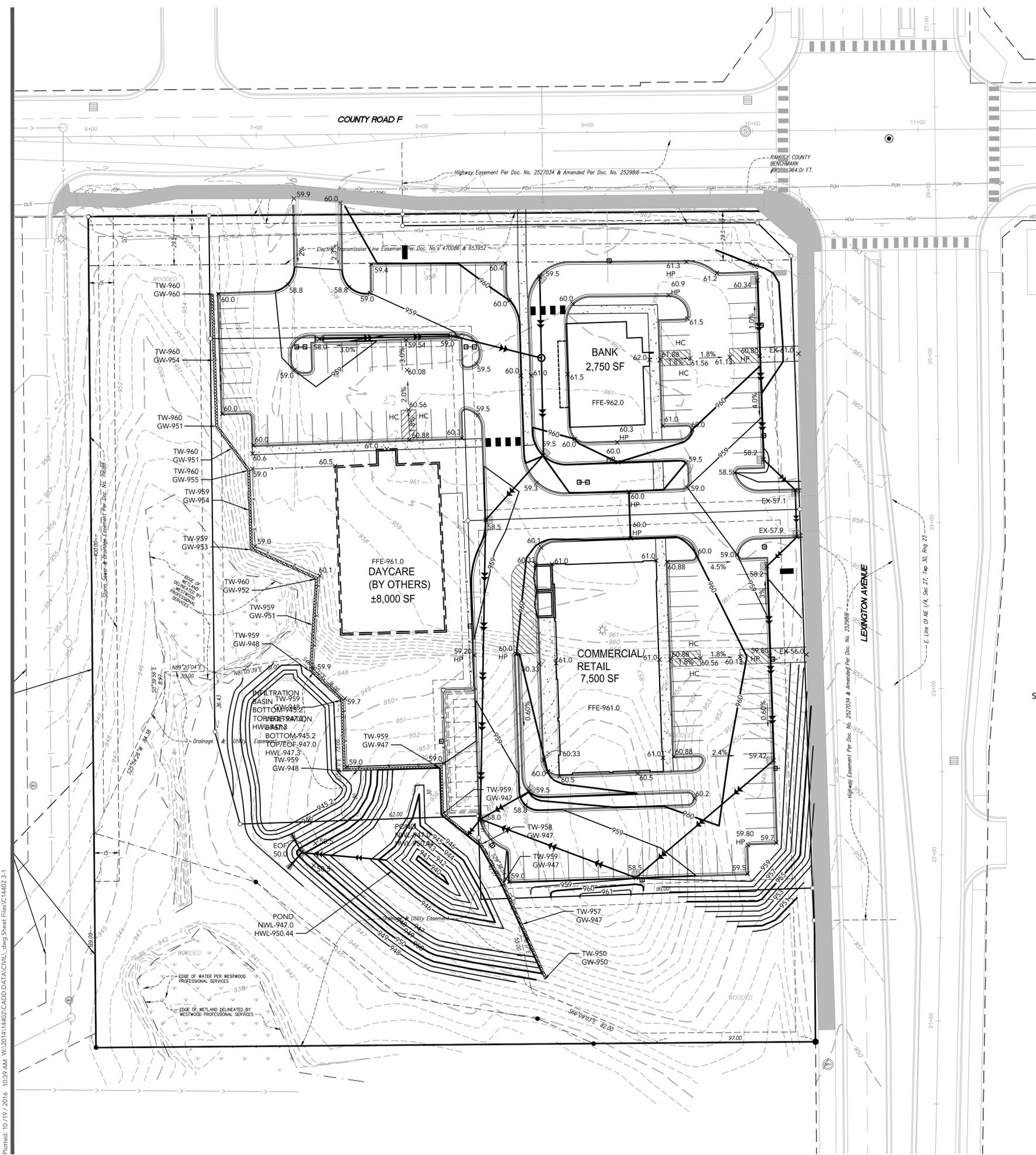
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GRADING NOTES

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- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDINGS, VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, ENTRY LOCATIONS AND LOCATIONS OF DOWNSPOUTS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, AND CITY REQUIREMENTS.
- ALL SPOT ELEVATIONS SHOWN REPRESENT FINISHED SURFACE OR GUTTER LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY EXISTING INFORMATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY PLAN DISCREPANCIES.
- EXISTING UTILITY LOCATIONS AS-PER CITY AS-BUILT PLANS AND FIELD SHOTS.
- SEE SHEET C3-2 FOR EROSION CONTROL INFORMATION.
- GENERAL CONTRACTOR MUST VERIFY ALL TIE IN GRADES.
- REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- ADA ACCESSIBLE ROUTE SHALL HAVE A 5.0% MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL AND A 2.0% MAXIMUM CROSS-SLOPE.
- ACCESSIBLE STALLS, ACCESS AISLES AND 60" TURNING CIRCLES SHALL HAVE A 2.0% MAXIMUM SLOPE IN ANY DIRECTION.

ABBREVIATION LEGEND

- FFE=FINISHED FLOOR ELEVATION
- TW=TOP OF RETAINING WALL
- GW=GROUND AT FACE OF RETAINING WALL
- HP=HIGH POINT
- LP=LOW POINT
- TC=TOP OF CURB
- GL=GUTTER LINE

LEGEND

EXISTING	PROPOSED

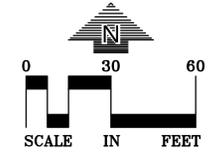
NOTE: CATCH BASINS RIMS ARE 2 INCHES LOWER THAN FLOW LINE ELEVATION.

NOTE: SPOT ELEVATIONS AT CURB LINES INDICATE BASE OF CURB AND GUTTER LINE (I.E. FLOW LINE) ELEVATIONS UNLESS OTHERWISE NOTED.

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SUBMITTAL/REVISIONS

10/03/16	Preliminary City Submittal
10/19/16	Revised City Submittal

PROFESSIONAL SIGNATURE

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License No. **Vicki J. Van Dell - PE** 41352
 Date

QUALITY CONTROL

Loucks Project No. 14402.OA
 Project Lead VJV
 Drawn By WBS
 Checked By VJV
 Review Date 10/19/16

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GRADING & DRAINAGE PLAN

C3-1

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GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.17 FEET.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES). REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. _____), DATED _____ AS PREPARED BY _____ FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

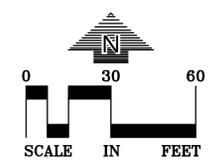
SITE PLAN LEGEND

- SF SILT FENCE
- INLET PROTECTION

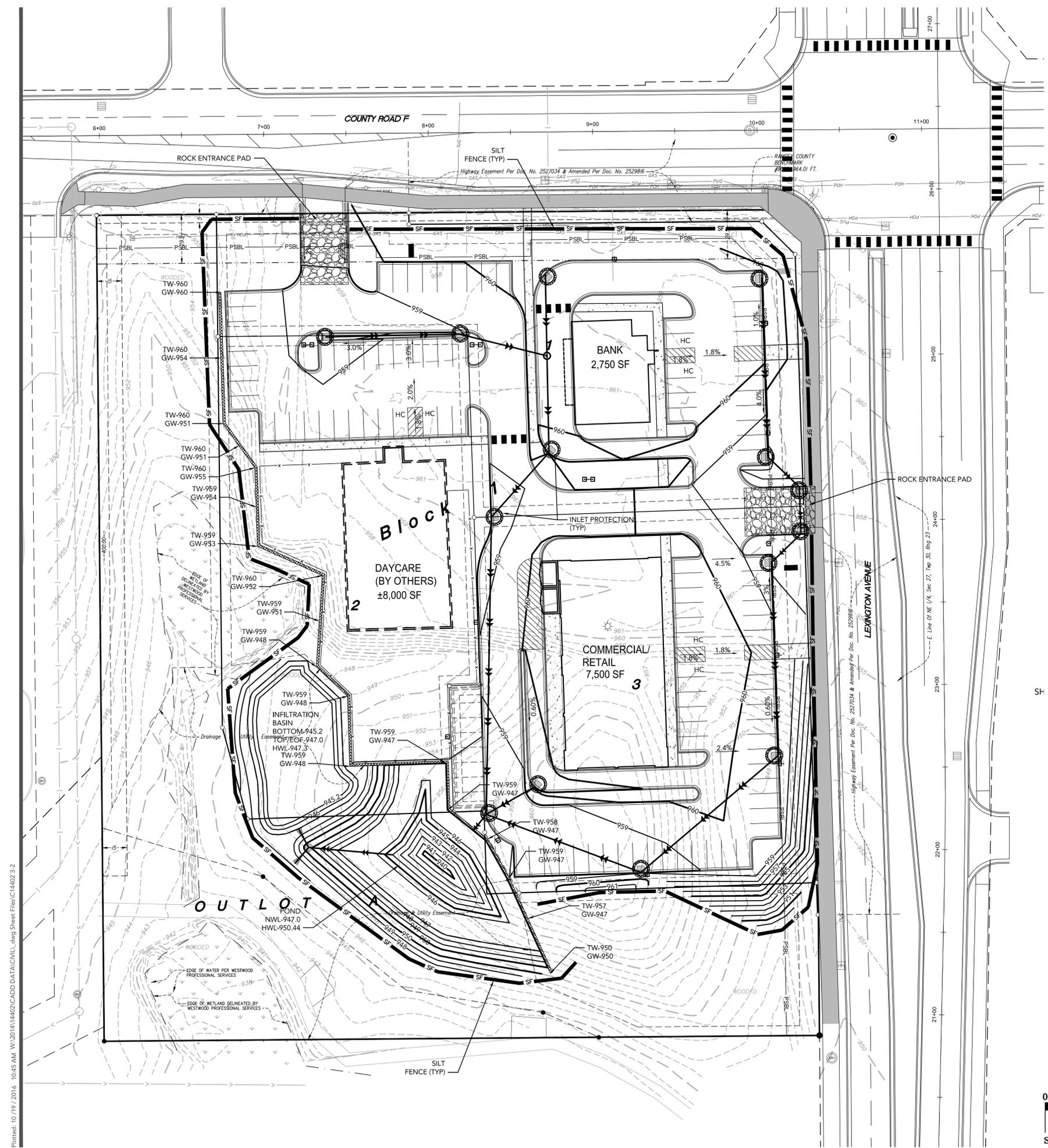
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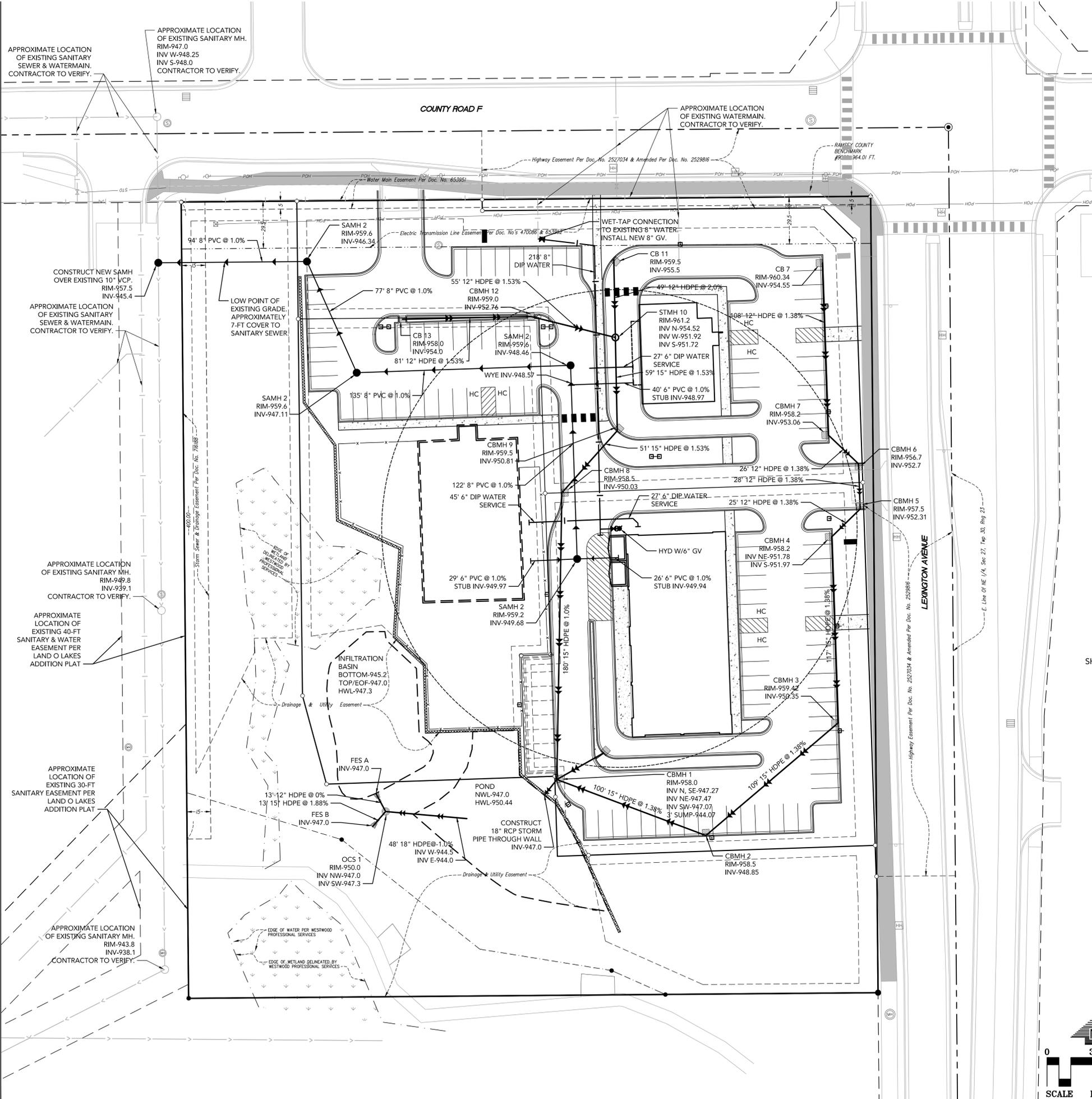
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UTILITY NOTES

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- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE CITY AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2013 EDITION. HDPE PIPE CONNECTIONS INTO ALL CONCRETE STRUCTURES SHALL BE MADE WITH WATER TIGHT MATERIALS, UTILIZING AN A-LOK OR WATERSTOP GASKET OR BOOT, CAST-IN-PLACE RUBBER BOOT, OR APPROVED EQUAL. WHERE THE ALIGNMENT PRECLUDES THE USE OF THE ABOVE APPROVED WATERTIGHT METHODS, CONSEAL 231 WATERSTOP SEALANT, OR APPROVED EQUAL WILL ONLY BE ALLOWED AS APPROVED BY THE ENGINEER. ALL SANITARY SEWER MAIN LINE SHALL BE SDR 35. ALL SANITARY SEWER SERVICES SHALL BE SDR 26.
- SEE SHEETS C8-1 AND THE CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL PER THE REQUIREMENTS OF THE CITY. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
- ADJUST ALL EXISTING STRUCTURES, BOTH PUBLIC AND PRIVATE TO THE PROPOSED GRADES WHERE DISTURBED AND COMPLY WITH ALL REQUIREMENTS OF THE UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- PROPOSED PIPE MATERIALS:

7.1. STORM SEWER	N12 HDPE-WT	12" - 18" DIAMETER.
7.2. ROOF DRAIN LEADS	N12 HDPE-WT	12" DIAMETER.
7.3. WATERMAIN	8" DIP CL 52	7.5' BURY DEPTH
7.4. WATER SERVICE	6" DIP CL 52	7.5' BURY DEPTH
7.5. SANITARY SEWER	8" PVC SDR 35	MAIN
7.6. SANITARY SERVICE	6" PVC SDR 26	SERVICE
- STORM SEWER PIPE SHALL MEET OR EXCEED AASHTO M294 MINIMUM PIPE STIFFNESS PER ASTM D2412 60PSI FOR 8"-18".
- PROPOSED GAS, TELEPHONE & ELECTRIC SERVICES ARE APPROXIMATE LOCATIONS ONLY. COORDINATE EACH SERVICE WITH THE UTILITY OWNER AND GENERAL CONTRACTOR. IF ANY PROPOSED SERVICE LOCATION VARY SIGNIFICANTLY OR CONFLICT, THE ENGINEER MUST BE NOTIFIED PRIOR TO THE INSTALLATION OF THE SERVICE.
- THE REMOVAL OF EXISTING SERVICES WITHIN THE CONSTRUCTION LIMITS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND UTILITY OWNER. ADDITIONAL SERVICES MAY EXIST.
- ALL WATER SERVICES MUST BE INSTALLED AT A 7.5-FT BURY DEPTH.
- INSULATE ALL CROSSINGS INVOLVING WATER AND SEWER.

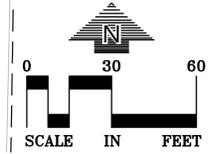
UTILITY NOTES

- PVC SANITARY SEWERS MUST MEET ONE OF THE FOLLOWING ASTM STANDARDS: D3034, F789, D2665, OR F891. ASTM D2241 PIPE MAY BE USED FOR SEWERS 6-INCH AND LARGER. THE INSTALLATION MUST COMPLY WITH ASTM D2321, WHICH REQUIRES INSTALLATION BY OPEN TRENCH ON A CONTINUOUS GRANULAR BED (SEE CURRENT MINNESOTA RULES, PART 4714).
- RCP STORM SEWERS MUST COMPLY WITH ASTM C76 (SEE CURRENT MINNESOTA RULES, PART 4714).
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH CURRENT MINNESOTA RULES, PART 4714:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE CURRENT MINNESOTA RULES, PART 4714). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- WATER SERVICE LINES MUST BE INSTALLED AT LEAST 10-FEET HORIZONTALLY FROM ANY MANHOLE, CATCHBASIN, OR OTHER SOURCE OF CONTAMINATION, MEASURED FROM OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (SEE CURRENT MINNESOTA RULES, PART 4714).
- THE BOTTOM OF WATER SERVICE PIPES LOCATED WITHIN 10-FEET OF THE SEWER CROSSING MUST BE AT LEAST 12-INCHES ABOVE THE TOP OF THE SEWER. WHEN THIS IS NOT FEASIBLE, THE SEWER PIPE MUST BE CONSTRUCTED OF MATERIALS LISTED IN CURRENT MINNESOTA RULES, PART 4714. THE WATER SERVICE SHOULD NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10-FEET OF A CROSSING.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10-FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH CURRENT MINNESOTA RULES, PART 4714.

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UTILITY PLAN
C4-1

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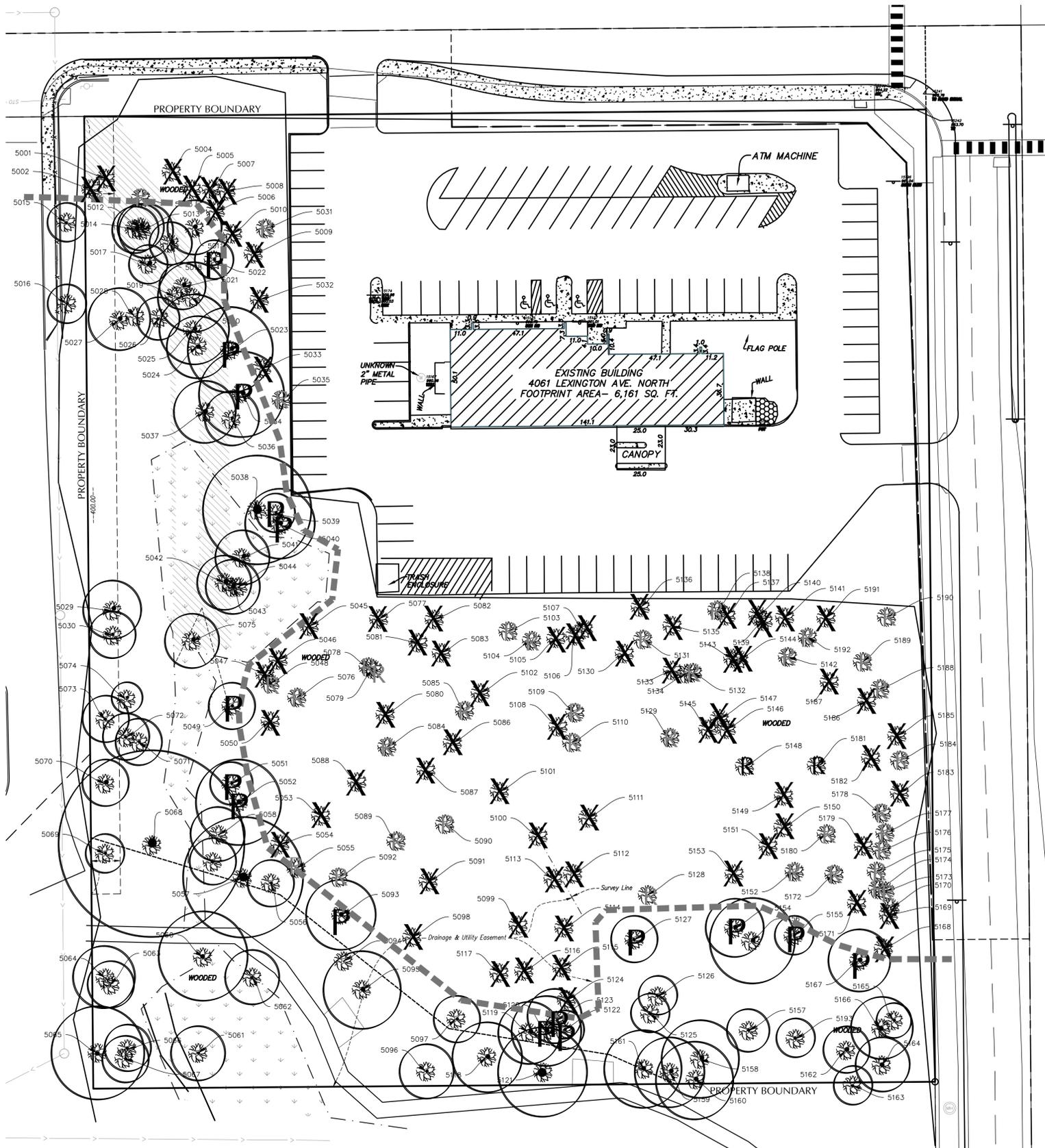
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P1-1	PHOTOMETRIC PLAN

<p>B6 STYLE CONCRETE CURB AND GUTTER</p> <p>LOUCKS PLATE NO. 2009 DRAWN 2/2016</p>	<p>BATTERED CONCRETE B612 CURB & GUTTER</p> <p>LOUCKS PLATE NO. 2010 DRAWN 2/2016</p>	<p>FLAT CURB AND GUTTER (12")</p> <p>LOUCKS PLATE NO. 2012 DRAWN 2/2016</p>	<p>STANDARD BITUMINOUS PAVEMENT SECTION</p> <p>LOUCKS PLATE NO. 2031 DRAWN 2/2016</p>	<p>HEAVY DUTY BITUMINOUS PAVEMENT SECTION</p> <p>LOUCKS PLATE NO. 2032 DRAWN 2/2016</p>	<p>CONCRETE SIDEWALK SECTION</p> <p>LOUCKS PLATE NO. 2035 DRAWN 2/2016</p>
<p>HANDICAP ACCESS ISLE NO PARKING SIGN</p> <p>HANDICAP PARKING SIGN</p> <p>WHEELCHAIR SYMBOL</p> <p>LOUCKS PLATE NO. 2038 DRAWN 2/2016</p>	<p>TYPICAL ADA PARKING SIGN / BOLLARD COMBO</p> <p>LOUCKS PLATE NO. 2039 DRAWN 2/2016</p>	<p>BOLLARD</p> <p>LOUCKS PLATE NO. 2040 DRAWN 2/2016</p>	<p>CURB / BITUMINOUS TRANSITION</p> <p>LOUCKS PLATE NO. 2044 DRAWN 2/2016</p>	<p>SILT FENCE PRE-ASSEMBLED OR MACHINE SLICED</p> <p>LOUCKS PLATE NO. 3000 DRAWN 2/2016</p>	<p>ROCK ENTRANCE TO CONSTRUCTION SITE</p> <p>LOUCKS PLATE NO. 3003 DRAWN 2/2016</p>
<p>INLET PROTECTION - FILTER BAG INSERT</p> <p>LOUCKS PLATE NO. 3013 DRAWN 2/2016</p>	<p>PLASTIC PIPE BEDDING</p> <p>LOUCKS PLATE NO. 4008 DRAWN 2/2016</p>	<p>STANDARD STORM SEWER MANHOLE WITH CONE SECTION</p> <p>LOUCKS PLATE NO. 4300 DRAWN 2/2016</p>	<p>2"x3"x3" CATCH BASIN (MAX. DEPTH 4.5')</p> <p>LOUCKS PLATE NO. 4302 DRAWN 2/2016</p>	<p>GATE VALVE AND BOX INSTALLATION</p> <p>LOUCKS PLATE NO. 4601 DRAWN 2/2016</p>	<p>DUCTILE IRON PIPE BEDDING</p> <p>LOUCKS PLATE NO. 4615 DRAWN 2/2016</p>

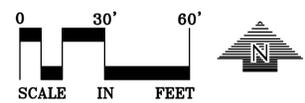
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TREE INVENTORY PLAN:

- LEGEND:**
- CONSTRUCTION / GRADING LIMITS
 - X 5133 SIGNIFICANT TREE TO BE REMOVED
 - P 5055 SIGNIFICANT TREE TO BE PROTECTED - SEE 1/L2-2
 - R 5084 NON-SIGNIFICANT TREE TO BE REMOVED

NOTE:
BACKGROUND INFORMATION INCLUDING THE TREE SURVEY WAS COMPLETED BY WESTWOOD. LOUCKS OFFERS NO GUARANTEE TO THE ACCURACY OF INFORMATION BY OTHERS.



SIGNIFICANT TREES:

TAG ID	SPECIES	CAL. INCHES	NOTES	DISPOSITION
5001	BOXELDER	24		REMOVED
5002	BOXELDER	14		REMOVED
5004	ASH	20		REMOVED
5005	RED OAK	14		REMOVED
5006	RED OAK	13		REMOVED
5007	RED OAK	16		REMOVED
5008	RED OAK	18	MULTI	REMOVED
5009	RED OAK	13		REMOVED
5010	WHITE OAK	12		REMOVED
5011	RED OAK	14		
5012	ASH	12		
5013	ASH	14		
5014	ASH	12		
5015	AMUR MAPLE	10		
5016	AMUR MAPLE	10		
5020	RED OAK	19		
5021	RED OAK	12		
5022	WHITE OAK	10		
5023	RED OAK	22	MULTI	
5024	WHITE OAK	17		
5025	RED OAK	18		
5027	ASH	16	MULTI	
5029	WHITE OAK	15		
5030	WHITE OAK	11		
5032	COTTONWOOD	12		REMOVED
5033	COTTONWOOD	17		REMOVED
5034	RED OAK	23		
5036	BOXELDER	14		
5037	ASH	16		
5038	COTTONWOOD	28	MULTI	
5040	COTTONWOOD	18		
5041	AMERICAN ELM	14		
5042	COTTONWOOD	13		
5043	COTTONWOOD	14		
5044	COTTONWOOD	15		
5045	ASH	14		REMOVED
5046	WHITE OAK	11		REMOVED
5047	WHITE OAK	16		REMOVED
5048	WHITE OAK	28		REMOVED
5049	BOXELDER	12		
5050	WHITE OAK	10		REMOVED
5051	RED OAK	11		
5052	RED OAK	23	MULTI	
5053	WHITE OAK	36		REMOVED
5054	WHITE OAK	30		REMOVED
5055	WHITE OAK	20		REMOVED
5056	RED OAK	12		
5057	WHITE OAK	31		
5058	RED OAK	13		
5059	RED OAK	12		
5061	COTTONWOOD	13		
5062	COTTONWOOD	14		
5063	BOXELDER	12		
5064	BOXELDER	16		
5065	BOXELDER	24		
5066	BOXELDER	12		
5067	BOXELDER	12		
5068	COTTONWOOD	48		
5071	ASPEN	12		
5072	ASPEN	12		
5073	ASPEN	12		
5075	BOXELDER	13		
5076	BLACK CHERRY	10		REMOVED
5077	COTTONWOOD	20		REMOVED
5080	WHITE OAK	22		REMOVED
5081	WHITE OAK	15		REMOVED
5082	COTTONWOOD	22		REMOVED
5083	WHITE OAK	14		REMOVED
5086	ASH	14		REMOVED
5087	BLACK CHERRY	10		REMOVED
5088	ASH	14		REMOVED

SIGNIFICANT TREES:

TAG ID	SPECIES	CAL. INCHES	NOTES	DISPOSITION
5089	BLACK CHERRY	14		REMOVED
5090	RED OAK	22	MULTI	
5091	WHITE OAK	20		REMOVED
5092	ASH	16		REMOVED
5093	WHITE OAK	19		
5094	WHITE OAK	22		
5095	WHITE OAK	20		
5096	ASH	13		
5097	BLACK CHERRY	12		
5098	BLACK CHERRY	10	MULTI	REMOVED
5099	BLACK CHERRY	10		REMOVED
5100	BLACK CHERRY	10		REMOVED
5101	BLACK CHERRY	16	MULTI	REMOVED
5102	BLACK CHERRY	10		REMOVED
5105	ASH	18		REMOVED
5106	BOXELDER	12	MULTI	REMOVED
5107	BLACK CHERRY	11		REMOVED
5108	WHITE OAK	18	MULTI	REMOVED
5111	RED MAPLE	13	MULTI	REMOVED
5112	BLACK CHERRY	10	MULTI	REMOVED
5113	BLACK CHERRY	12		REMOVED
5114	ASH	13	MULTI	REMOVED
5115	BLACK CHERRY	10		REMOVED
5116	ASH	12		REMOVED
5117	BLACK CHERRY	12		REMOVED
5118	RED OAK	18	MULTI	
5119	WHITE OAK	17		
5120	WHITE OAK	19		
5121	RED OAK	23		
5122	BLACK CHERRY	10		
5123	ASH	13		
5124	ASH	12		REMOVED
5126	BLACK CHERRY	10		
5127	BLACK CHERRY	12		
5130	BOXELDER	12		REMOVED
5133	BLACK CHERRY	10		REMOVED
5135	COTTONWOOD	19		REMOVED
5136	COTTONWOOD	15		REMOVED
5137	COTTONWOOD	16		REMOVED
5139	AMERICAN ELM	15		REMOVED
5140	COTTONWOOD	16		REMOVED
5141	ASH	14		REMOVED
5143	BLACK CHERRY	10		REMOVED
5144	BOXELDER	12		REMOVED
5145	WHITE OAK	11		REMOVED
5146	WHITE OAK	10		REMOVED
5147	WHITE OAK	11		REMOVED
5149	WHITE OAK	18		REMOVED
5150	ASH	14	MULTI	REMOVED
5151	WHITE OAK	23		REMOVED
5153	WHITE OAK	22		REMOVED
5154	WHITE OAK	15		REMOVED
5156	WHITE OAK	22		
5158	WHITE OAK	20		
5159	WHITE OAK	18		
5160	WHITE OAK	21		
5161	WHITE OAK	20		
5162	ASH	12		
5164	ASH	13	MULTI	
5166	ASH	16		
5167	BOXELDER	16		
5168	ASH	16		REMOVED
5169	ASH	13		REMOVED
5171	BLACK CHERRY	10		REMOVED
5179	ASH	12		REMOVED
5182	ASH	13		REMOVED
5183	COTTONWOOD	18	MULTI	REMOVED
5185	ASH	14		REMOVED
5186	WHITE OAK	16	MULTI	REMOVED
5187	COTTONWOOD	32		REMOVED
5191	BOXELDER	14	MULTI	REMOVED

TREE INVENTORY SUMMARY:

SEE SHEET L2-1 FOR TREE REFORESTATION PLAN

	TOTAL CAL. INCHES	TOTAL CAL. INCHES SAVED	TOTAL CAL. INCHES REMOVED	ALLOWABLE CAL. INCHES REMOVAL (10%)	CAL. INCHES TO BE MITIGATED	REPLACEMENT CAL. INCHES REQUIRED
SIGNIFICANT TREES - EXISTING						
HARDWOOD DECIDUOUS 10" AND GREATER	1228					
SOFTWOOD DECIDUOUS, 12" AND GREATER	1000					
TOTAL	2228	1069	1159	223	936	TOTAL - 468 CAL IN (188 TREES @ 2.5" CAL)

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SUBMITTAL/REVISIONS

10/03/16	Preliminary City Submittal
10/19/16	Revised City Submittal

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Gregory A. Johnson - LA 24610
License No. 24610
Date

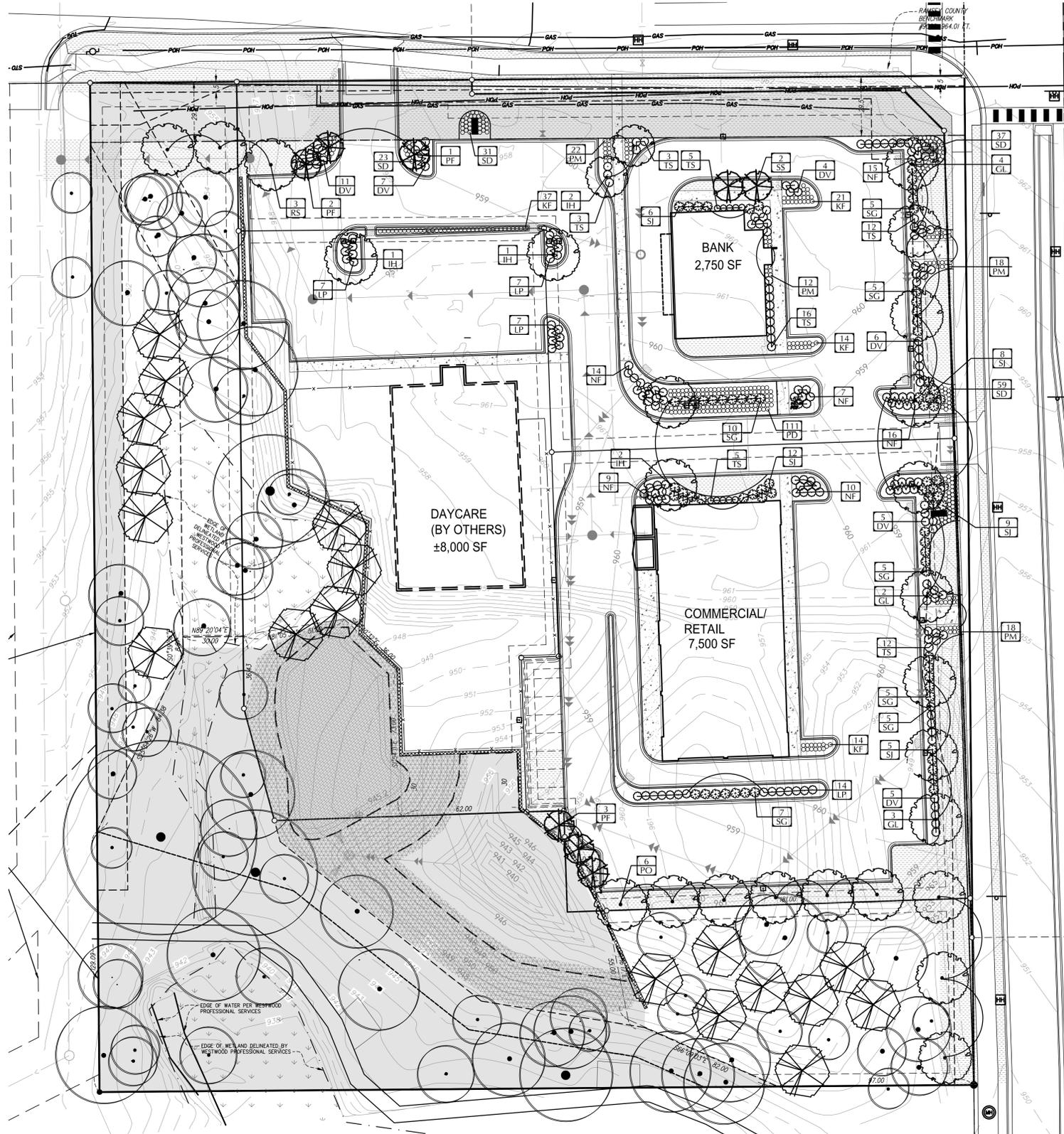
QUALITY CONTROL
Loucks Project No. 14402.0A
Project Lead VJV
Drawn By GAJ
Checked By VJV
Review Date 10/19/16

SHEET INDEX

C0-1	COVER SHEET
C1-1	EXISTING CONDITIONS
C1-2	PRELIMINARY PLAN
C1-3	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING & DRAINAGE PLAN
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L1-1	TREE INVENTORY PLAN
L1-2	TREE PRESERVATION PLAN
L2-1, 2	LANDSCAPE PLAN & DETAILS
P1-1	PHOTOMETRIC PLAN

TREE PRESERVATION PLAN
L1-2

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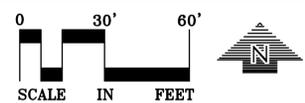
LANDSCAPE PLAN

LEGEND

	SOD / TOPSOIL - SEE NOTES
	MNDOT NATIVE SEED MIX 33-261
	MNDOT NATIVE SEED MIX 33-261
	EASEMENTS - NO TREES OR SHRUB PLANTING ALLOWED

PLANTING LEGEND

	EXISTING TREES TO REMAIN		ORNAMENTAL TREE
	OVERSTORY TREES - MITIGATION STANDARDS		DECIDUOUS SHRUBS
	OVERSTORY TREES - DESIGN STANDARDS		CONIFEROUS SHRUBS
			GRASSES / PERENNIALS



GENERAL NOTES

- CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS TO REMAIN DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).
- ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

IRRIGATION NOTES

- VERIFY PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.
- ALL LAWN AND PLANTING BEDS WITHIN LIMITS SHOWN ON LANDSCAPE PLAN SHALL BE IRRIGATED, NATIVE SEED AREAS ARE NOT IRRIGATED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION.
- IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION. SYSTEM SHALL BE DESIGNED SO AS TO NOT SPRAY OVER ANY CONCRETE OR ASPHALT AREA. IRRIGATION SYSTEMS SHALL INCLUDE A BACKFLOW PREVENTER AND A MOISTURE SENSOR.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

TREE REPLACEMENT / MITIGATION PLAN

SIGNIFICANT TREES - EXISTING	TOTAL CAL. INCHES	TOTAL CAL. INCHES SAVED	TOTAL CAL. INCHES REMOVED	ALLOWABLE CAL. INCHES REMOVAL (10%)	CAL. INCHES TO BE MITIGATED	REPLACEMENT CAL. INCHES REQUIRED	REPLACEMENT CAL. INCHES PROPOSED
HARDWOOD DECIDUOUS 10" AND GREATER	1228						
SOFTWOOD DECIDUOUS, 12" AND GREATER	1000						
TOTAL	2228	1069	1159	223	936	TOTAL - 468 CAL IN (188 TREES @ 2.5" CAL)	TOTAL - 45 CAL IN (18 TREES @ 2.5" CAL)

LANDSCAPING DESIGN REQUIREMENTS

MINIMUM LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
GROSS SQUARE FOOTAGE OF BANK - 2,750 SF	9 CA. INCHES	
GROSS SQUARE FOOTAGE OF COMMERCIAL BUILDING - 7,500 SF	24 CAL INCHES	
GROSS SQUARE FOOTAGE COMBINED - 10,250 SF	33 CAL INCHES	60 CAL INCHES
STREET TREES		
ONE TREE PER 50 LF OF ROAD FRONTAGE - 906 LF TOTAL FRONTAGE	19 TREES @ 50' O.C.	12 TREES @ 40' O.C. (UNABLE TO PLANT ALONG CTY. RD. F DUE TO EASEMENT)
SHRUB AND PERENNIAL PLANTING		
TOTAL LANDSCAPED LOT AREA - 17,945 SF		
TOTAL LOT AREA COVERED WITH SHRUBS AND PERENNIALS	1,795 SF (10%)	8,294 SF (46.2%)
SHRUB AND PERENNIAL PLANTING		
TOTAL AREA OF PARKING LOT - 64,453 SF		
TOTAL AREA OF PLANTED PARKING ISLANDS	6,445 SF (10%)	6,344 SF (9.9%)

PLANT LIST - TREE REPLACEMENT / MITIGATION

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	COMMENTS
		OVERSTORY TREES			
	5	WHITE OAK	Quercus alba	2-1/2" CAL B.B.	PLANT MITIGATION TREES THROUGHOUT EXISTING WOODLAND IN RANDOM ORDER
	5	RED OAK	Quercus rubra	2-1/2" CAL B.B.	
	4	RED MAPLE	Acer rubrum	2-1/2" CAL B.B.	
	4	BLACK CHERRY	Prunus serotina	2-1/2" CAL B.B.	

PLANT LIST

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	COMMENTS
		OVERSTORY TREES			
GL	9	GREENSPIRE INDEN	Tilia cordata 'Greenspire'	2-1/2" CAL B.B.	
RS	3	RED SUNSET MAPLE	Acer rubrum 'Franksred'	2-1/2" CAL B.B.	
PO	6	NORTHERN PIN OAK	Quercus ellipsoidalis	2-1/2" CAL B.B.	
IH	6	IMPERIAL HONEYLOCUST	Gleditsia triacanthos inermis 'Impcole'	2-1/2" CAL B.B.	
		ORNAMENTAL TREES			
SS	2	SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	1-1/2" CAL B.B.	
PF	6	PRAIRIE FIRE CRABAPPLE	Malus 'Prairie Fire'	1-1/2" CAL B.B.	
		SHRUBS			
DV	38	DWARF EUROPEAN VIBURNUM	Diervilla lonicera	#5 CONT	
NF	72	NEON FLASH SPIREA	Spiraea japonica 'Neon Flash'	#5 CONT	
TS	56	TOR SPIREA	Spiraea betulifolia 'Tor'	#5 CONT	
LP	35	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	#5 CONT	
SJ	40	SCANDIA JUNIPER	Juniperus chinensis 'Scandia'	#5 CONT	
SG	42	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	#5 CONT	
		GRASSES / PERENNIALS			
PD	111	PRAIRIE DROPSEED	Sporobolus heterolepis	#1 CONT	
SD	150	STELLA DE ORO DAYLILY	Hemerocallis 'Stella de Oro'	#1 CONT	
PM	70	PARDON ME DAYLILY	Hemerocallis 'Pardon Me'	#1 CONT	
KF	86	KARL FOERSTER GRASS	Calamagrostis acutiflora	#1 CONT	

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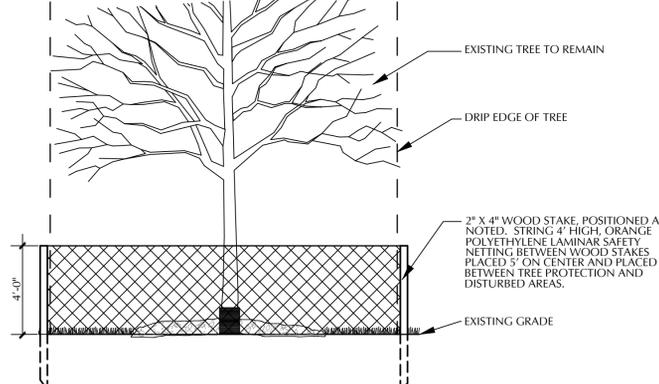
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LANDSCAPE PLAN
L2-1

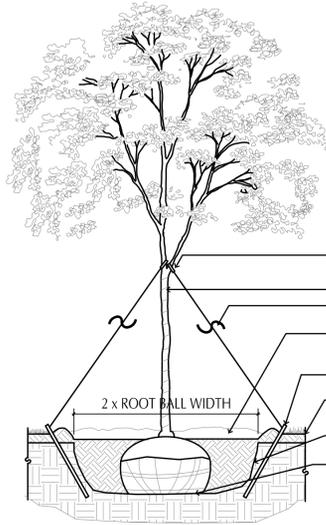
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TREE PROTECTION NOTE:
INSTALL SNOW FENCE AROUND EACH TREE TO BE PROTECTED PRIOR TO GRADING. FENCE SHALL BE PLACED AT THE DRIP EDGE OR CRITICAL ROOT ZONES OF THE TREES. FENCING SHALL BE NO CLOSER THAN 6' TO THE TRUNK OF ANY TREE TO BE PROTECTED. THE PERIMETERS FOR TREES BEING PROTECTED SHALL BE DESIGNATED AT ALL TIMES DURING CONSTRUCTION ACTIVITY AND SIGNAGE SHALL BE INSTALLED AT ALL TREE PROTECTION AREAS THAT INSTRUCTS WORKERS TO STAY OUT. CONTRACTOR SHALL AVOID ALL AREAS WITHIN TREE PROTECTION FENCE. SOIL SHOULD BE PROTECTED FROM EROSION AND CHANGES IN CHEMISTRY FROM CONCRETE OR TOXIC MATERIALS SUCH AS FUELS AND PAINTS.

THE CONTRACTOR SHALL HAVE "TREE PAINT" ON SITE AT ALL TIMES. IF AN OAK IS WOUNDED DURING CONSTRUCTION, THE CONTRACTOR MUST IMMEDIATELY APPLY PAINT TO THE WOUND IN ORDER TO PREVENT OAK WILT. ALL DAMAGE TO TREES TO BE PROTECTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.



1 TREE PROTECTION
SCALE: 1/2" = 1'-0"
Tree Protection.DWG

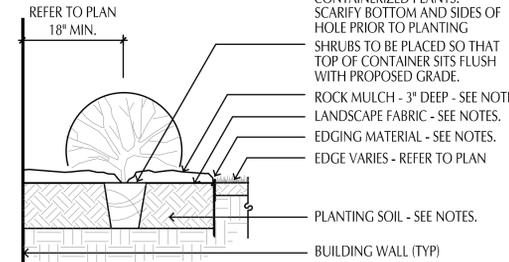


2 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"
Deciduous Tree.DWG

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. THREE STAKES POSITIONED EQUALLY AROUND THE TREE ARE REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE. CUT BACK WIRE BASKET REMOVE ALL FLAGGING AND LABELING FROM TREE.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.



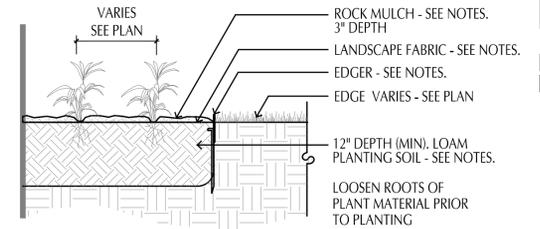
3 SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"
L2-2

LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE.

ROCK MULCH - 3" DEEP - SEE NOTES. LANDSCAPE FABRIC - SEE NOTES. EDGING MATERIAL - SEE NOTES. EDGE VARIES - REFER TO PLAN

PLANTING SOIL - SEE NOTES.

BUILDING WALL (TYP)



4 PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"
Perennial.DWG

LANDSCAPE INSTALLATION NOTES:

- COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.
- ALL SODDED AREAS SHALL HAVE 4" OF TOPSOIL BORROW. TOPSOIL BORROW SHALL BE USDA CLASSIFICATION MEDIUM SANDY LOAM. THE TOPSOIL SHALL HAVE 50% TO 70% SAND BY WEIGHT, A SILT/CLAY RATIO OF 2/1 OR LESS WITH NO MORE THAN 15% TO 20% CLAY BY WEIGHT AND 12% TO 20% ORGANIC MATTER BY WEIGHT.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.
- ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.
- ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL. OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ PER 2.5" CALIPER PER TREE AND 6 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
- ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.
- WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
- COMMERCIAL GRADE BLACK PLASTIC EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.
- ALL PLANTING BEDS TO RECEIVE 3" DEEP QUARRY ROCK MULCH 3/4"- 1-1/2" SIZE FROM LAKES CONCRETE PLUS (218-444-9112) OR APPROVED EQUAL. ROCK MULCH SHALL BE PLACED OVER 3.5 OUNCE MINIMUM FIBER MAT WEED BARRIER.
- ALL TREES NOT WITHIN PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
- SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURERS RECOMMENDATIONS UNDER ALL MULCHED AREAS.
- IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.
- WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- REPRODUCIBLE AS-BUILT DRAWING(S) OF ALL LANDSCAPE INSTALLATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15. FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND FALL DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

10/03/16	Preliminary City Submittal
10/19/16	Revised City Submittal

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Gregory A. Johnson - LA 24610
License No. 24610
Date

QUALITY CONTROL

Loucks Project No.	14402.0A
Project Lead	VJV
Drawn By	GAJ
Checked By	VJV
Review Date	10/19/16

SHEET INDEX

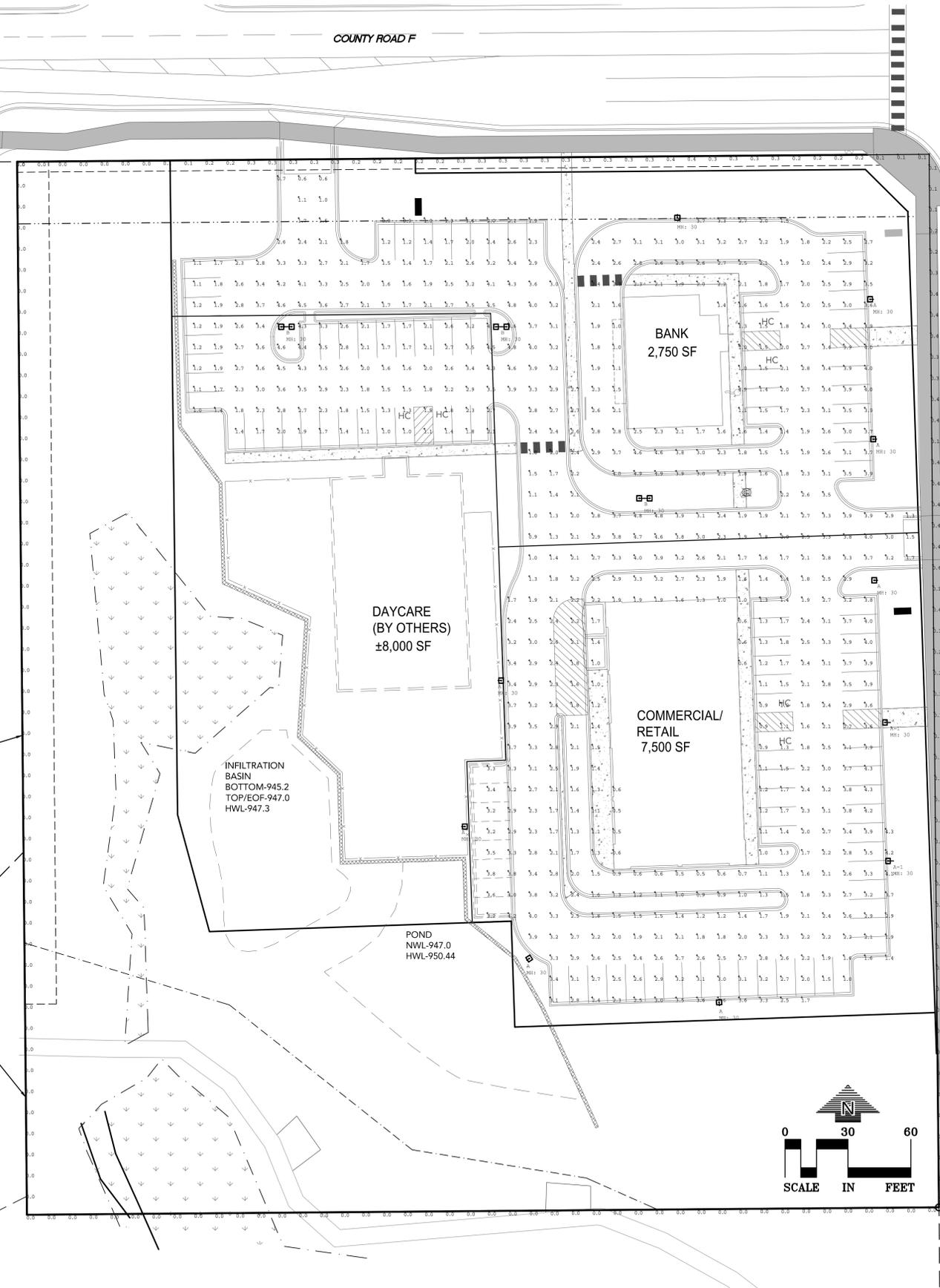
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C1-1	EXISTING CONDITIONS
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L2-1, 2	LANDSCAPE PLAN & DETAILS
P1-1	PHOTOMETRIC PLAN

All Luminaires Are Flat Lens - Full Cutoff Type

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Description	Arr. Watts	REC Rating
□	8	A	SINGLE	N.A.	Leotek AR18-30M-MV-NW-4-XX-530 Single 30ft Height - Rd Tapered Alu Pole	188.18	B3-10-G2
□	2	A-1	SINGLE	N.A.	Leotek AR18-30M-MV-NW-4-XX-530-18S Single 30ft Height - Rd Tapered Alu Pole	188.18	B3-10-G3
□	3	B	BACK-BACK	N.A.	Leotek AR18-30M-MV-NW-3-XX-530 Twin 30ft Height - Rd Tapered Alu Pole	371.86	B3-10-G2

Calculation Summary		Units	Avg	Max	Min	Avg/Min	Max/Min
Label	CalcType						
Asphalt Parking Surface	ILLUMINANCE	FC	2.42	8.39	0.5	4.84	9.89
Property Line	ILLUMINANCE	FC	0.09	0.4	0.0	N.A.	N.A.

Lighting by:
 Charlie Leavitt, LC, MIES
 Lighting Fundamentals, LLC
 PO Box 50827
 Mendota, MN 55150-0877
 651-399-7768



LEOTEK
LITE-ON GROUP

ARIETA™ 18 LED Area Luminaire AR18

Luminaire Data
 Weight 24 lbs [10.9 kg]
 EPA 0.55 ft²

Project: Arden Hills
 Type: AA
 Catalog No.: AR18-30M-MV-NW-4-XX-530-RPA
 On Round Tapered Aluminum Pole
 30' Mounting Height

Ordering Information
 Sample Catalog No. AR18 20M MV NW 3 DB 700 HSS

Product	LED No. & Type	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current ²	Options
AR18	6M 10M 15M 18M 20M 24M 30M	MV 120-277V HV 347-480V	WW 3000K LW 4000K CW 5000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5	DK Black DB Dark Bronze WH White GY Gray NA Natural Aluminum	350 350mA 530 530mA 700 700mA	HSS ³ House Side Shield (Factory Installed) FDC ⁴ Fixed Drive Current PCR NEMA Photocontrol Receptacle PCRS ANS 5-wire Photocontrol Receptacle PCR7 ANS 7-wire Photocontrol Receptacle PCRS-CR Control Ready 5-wire Photocontrol Receptacle PCR7-CR Control Ready 7-wire Photocontrol Receptacle MSL7 ⁵ Motion Sensor with L7 Lens MSL3 ⁵ Motion Sensor with L3 Lens PPS ⁶ Programmable Power Supply ORR ⁷ Optics Rotated Right ORL ⁷ Optics Rotated Left WL ⁸ Utility Wattage Label

Accessories⁹
 HSS³ House Side Shield
 RPA⁴ Round Pole Adapter
 PTF1⁵ Square Pole Top Filter Single
 PTF2⁵ Square Pole Top Filter Twin at 180°
 PTF4⁵ Square Pole Top Filter Quad
 WM⁵ Wall Mount
 BSK⁵ Bird Deterrent Spider Kit
 PC⁵ Twist Lock Photocontrol
 LIPC⁵ Long Life Twist Lock Photocontrol
 SC⁵ Twist Lock Shorting Cap
 FSR100⁵ Motion Sensor Configuration Tool

Notes:
 1. Black, Dark Bronze, White, or Gray standard, consult factory for Natural Aluminum or other finishes.
 2. Factory set drive current, field adjustable standard. Refer to performance data on page 3. Consult factory if wattage limits require a special drive current.
 3. Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at L7 mounting height behind luminaire.
 4. Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
 5. Motion Sensor available with MV only. Motion Sensor default setting dims luminaire to 50% when no motion detected for 5 minutes. Field adjustable using FSR100 for alternate settings. See L7 or L3 Lens coverage details on page 3. Consult factory for NS specified with ANS 5-wire or 7-wire Photocontrol Receptacle. Luminaire warranty is limited to 5 years with a Motion Sensor. PCR option is required for On/Off control using light detection.
 6. Consult factory for programming.
 7. Specify Color (GX, DB, BK, WH, NA)
 8. Specify MV (120-277V) or HV (347V-480V)
 9. Accessories are ordered separately and not to be included in the catalog number.

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 AR18_v121715. Specifications subject to change without notice.

LEOTEK
LITE-ON GROUP

ARIETA™ 18 LED Area Luminaire AR18

Luminaire Data
 Weight 24 lbs [10.9 kg]
 EPA 0.55 ft²

Project: Arden Hills
 Type: AA-1
 Catalog No.: AR18-30M-MV-NW-4-XX-530-RPA-HSS
 On Round Tapered Aluminum Pole
 30' Mounting Height

Ordering Information
 Sample Catalog No. AR18 20M MV NW 3 DB 700 HSS

Product	LED No. & Type	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current ²	Options
AR18	6M 10M 15M 18M 20M 24M 30M	MV 120-277V HV 347-480V	WW 3000K LW 4000K CW 5000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5	DK Black DB Dark Bronze WH White GY Gray NA Natural Aluminum	350 350mA 530 530mA 700 700mA	HSS ³ House Side Shield (Factory Installed) FDC ⁴ Fixed Drive Current PCR NEMA Photocontrol Receptacle PCRS ANS 5-wire Photocontrol Receptacle PCR7 ANS 7-wire Photocontrol Receptacle PCRS-CR Control Ready 5-wire Photocontrol Receptacle PCR7-CR Control Ready 7-wire Photocontrol Receptacle MSL7 ⁵ Motion Sensor with L7 Lens MSL3 ⁵ Motion Sensor with L3 Lens PPS ⁶ Programmable Power Supply ORR ⁷ Optics Rotated Right ORL ⁷ Optics Rotated Left WL ⁸ Utility Wattage Label

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 8. Specify MV (120-277V) or HV (347V-480V)
 9. Accessories are ordered separately and not to be included in the catalog number.

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 AR18_v121715. Specifications subject to change without notice.

LEOTEK
LITE-ON GROUP

ARIETA™ 18 LED Area Luminaire AR18

Luminaire Data
 Weight 24 lbs [10.9 kg]
 EPA 0.55 ft²

Project: Arden Hills
 Type: BB
 Catalog No.: (2) AR18-30M-MV-NW-3-XX-530-RPA
 On Round Tapered Aluminum Pole
 30' Mounting Height Mounted
 2 @ 180 Degrees

Ordering Information
 Sample Catalog No. AR18 20M MV NW 3 DB 700 HSS

Product	LED No. & Type	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current ²	Options
AR18	6M 10M 15M 18M 20M 24M 30M	MV 120-277V HV 347-480V	WW 3000K LW 4000K CW 5000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5	DK Black DB Dark Bronze WH White GY Gray NA Natural Aluminum	350 350mA 530 530mA 700 700mA	HSS ³ House Side Shield (Factory Installed) FDC ⁴ Fixed Drive Current PCR NEMA Photocontrol Receptacle PCRS ANS 5-wire Photocontrol Receptacle PCR7 ANS 7-wire Photocontrol Receptacle PCRS-CR Control Ready 5-wire Photocontrol Receptacle PCR7-CR Control Ready 7-wire Photocontrol Receptacle MSL7 ⁵ Motion Sensor with L7 Lens MSL3 ⁵ Motion Sensor with L3 Lens PPS ⁶ Programmable Power Supply ORR ⁷ Optics Rotated Right ORL ⁷ Optics Rotated Left WL ⁸ Utility Wattage Label

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ARDEN CROSSINGS
 ARDEN HILLS, MN

BREMER BANK
 BREMER BANK, NATIONAL ASSOCIATION
 8555 EAGLE POINT BLVD
 LAKE ELMO, MN 55042

LOUCKS
 PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

CADD QUALIFICATION
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SUBMITTAL/REVISIONS
 10/03/16 Preliminary City Submittal
 10/19/16 Revised City Submittal

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Vicki J. Van Dell - PE
 License No. 41352
 Date

QUALITY CONTROL
 Loucks Project No. 14402.OA
 Project Lead VJV
 Drawn By WBS
 Checked By VJV
 Review Date 10/19/16

SHEET INDEX

C0-1	COVER SHEET
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P1-1	PHOTOMETRIC PLAN

PHOTOMETRIC PLAN
P1-1

Plotted: 10/19/2016 10:49 AM W:\2014\14402\CADD\DATA\CADD\DWG\Sheet Files\P14402-1-1

BREMER BANK ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Bremer Bank, National Association, a national banking association, owner of the following described property situated in the City of Arden Hills, County of Ramsey, State of Minnesota:

Lot 3, Block 1, Land O' Lakes Addition, Ramsey County, Minnesota

Have caused the same to be surveyed and platted as BREMER BANK ADDITION and do hereby dedicate or donate to the public for public use forever the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said Bremer Bank, National Association, a national banking association, has caused these presents to be signed by its proper officers this ____ day of _____, 201____.

BREMER BANK, NATIONAL ASSOCIATION

its _____

State of _____
County of _____

The foregoing instrument was acknowledged before me this ____ day of _____, 201____ by _____, _____, of Bremer Bank, National Association, a national banking association, on behalf of the association.

(Signature)

(Printed Name)
Notary Public _____ County, _____
My Commission Expires _____

SURVEYORS CERTIFICATION

I, Max L. Stanislawski, Professional Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 201____.

Max L. Stanislawski, Professional Land Surveyor
Minnesota License No. 48988

State of Minnesota
County of Hennepin

The foregoing Surveyor's Certificate was acknowledged before me this ____ day of _____, 201____ by Max L. Stanislawski, a Professional Land Surveyor.

(Signature)

(Printed Name)
Notary Public Hennepin County, Minnesota
My Commission Expires January 31, 2020

CITY OF ARDEN HILLS

I do hereby certify that on the ____ day of _____, 201____, the City Council of the City of Arden Hills, Minnesota, approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

_____, City Clerk

DEPARTMENT OF PROPERTY RECORDS AND REVENUE

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year ____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 201____.

_____, Director

By _____, Deputy
Property Records and Revenue

COUNTY SURVEYOR

I hereby certify that this plat complies with the requirements of Minnesota Statutes, Section 505.021, and is approved pursuant to Minnesota Statutes, Section 383A.42, this ____ day of _____, 201____.

Craig W. Hinzman, Land Surveyor
Ramsey County Surveyor

COUNTY RECORDER, County of Ramsey, State of Minnesota

I hereby certify that this plat of BREMER BANK ADDITION was filed in the office of the County Recorder for public record on this ____ day of _____, 201____, at ____ o'clock __M. and was duly filed in Book _____ of Plats, Page _____, as Document No. _____.

Deputy County Recorder

REGISTRAR OF TITLES, County of Ramsey, State of Minnesota

I hereby certify that this plat of BREMER BANK ADDITION was filed in the office of the Registrar of Titles for public record on this ____ day of _____, 201____, at ____ o'clock __M. and was duly filed in Book _____ of Plats, Page _____, as Document No. _____.

Deputy Registrar of Titles

BREMER BANK ADDITION



0 30
SCALE IN FEET

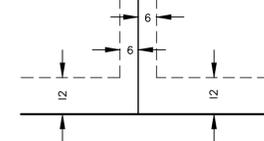
THE EAST LINE OF THE NE 1/4, SEC 27, TWP 30, RING 23 IS ASSUMED TO HAVE A BEARING OF SOUTH 0°32'15" EAST

○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 48988"

△ DENOTES "PK NAIL" SET

● DENOTES IRON MONUMENT FOUND

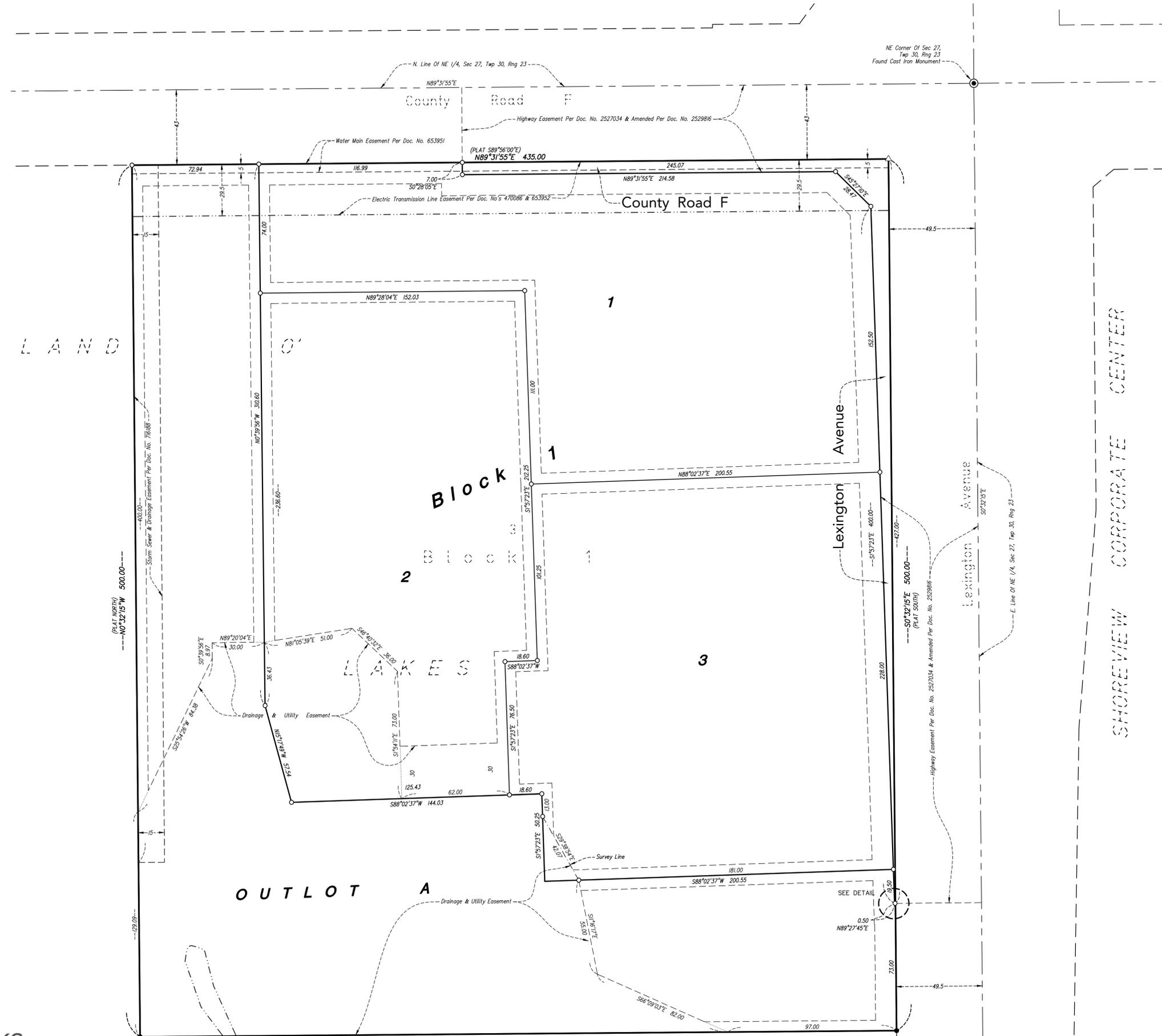
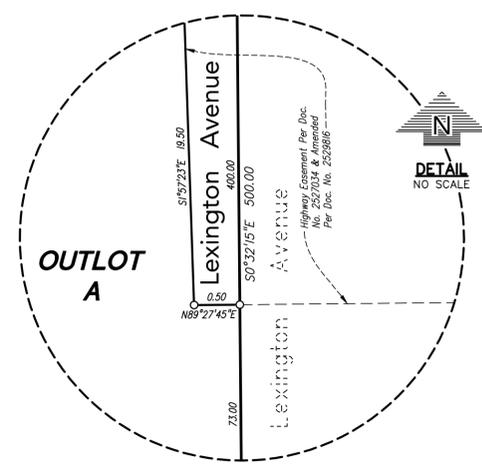
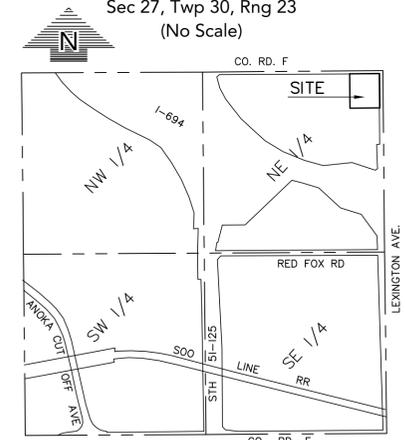
NOT TO SCALE
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 6 FEET IN WIDTH, UNLESS OTHERWISE INDICATED AND ADJOINING LOT LINES, AND BEING 12 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAT.

VICINITY MAP

Sec 27, Twp 30, Rng 23
(No Scale)



CADD QUALIFICATION

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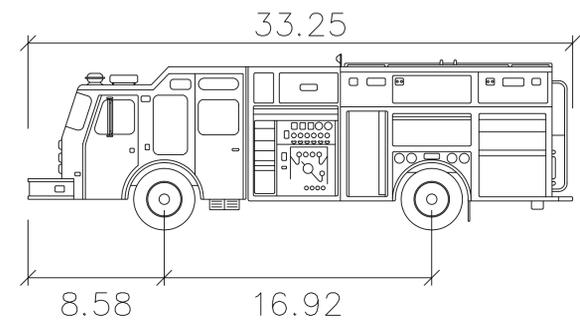
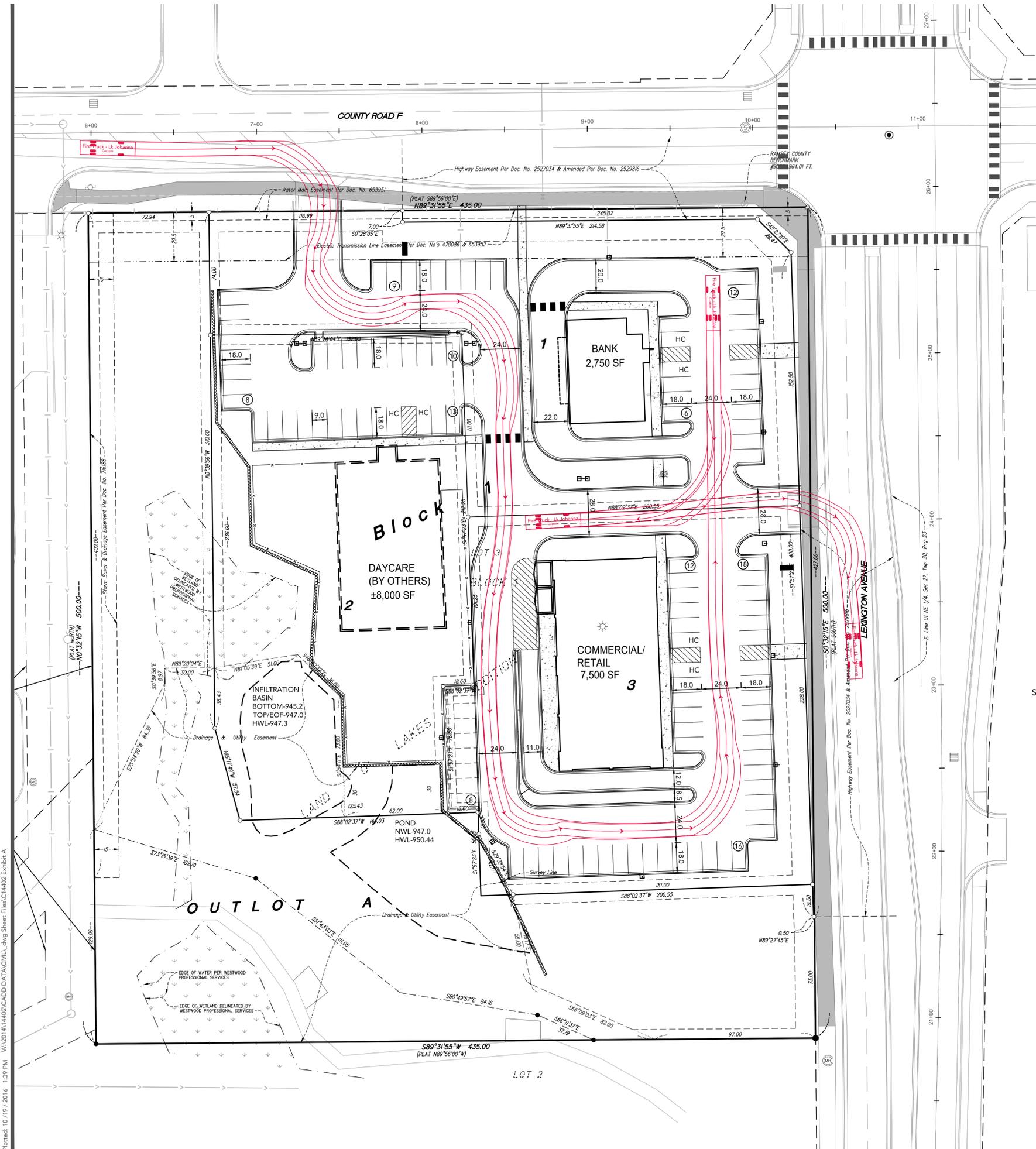
License No. **Vicki J. Van Dell - PE** 41352
Date

QUALITY CONTROL

Loucks Project No.	14402.0A
Project Lead	VJV
Drawn By	WBS
Checked By	VJV
Reviewed Date	10/19/16

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C1-2	PRELIMINARY PLAN
C1-3	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING & DRAINAGE PLAN
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C4-1	UTILITY PLAN
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L2-1, 2	LANDSCAPE PLAN & DETAILS
P1-1	PHOTOMETRIC PLAN

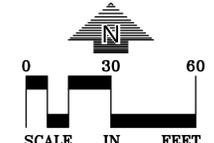


Fire Truck – Lk Johanna
feet

Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 38.7

WARNING
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Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

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SUBMITTAL/REVISIONS

10/03/16	Preliminary City Submittal
10/19/16	Revised City Submittal

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. **Vicki J. Van Dell - PE** 41352

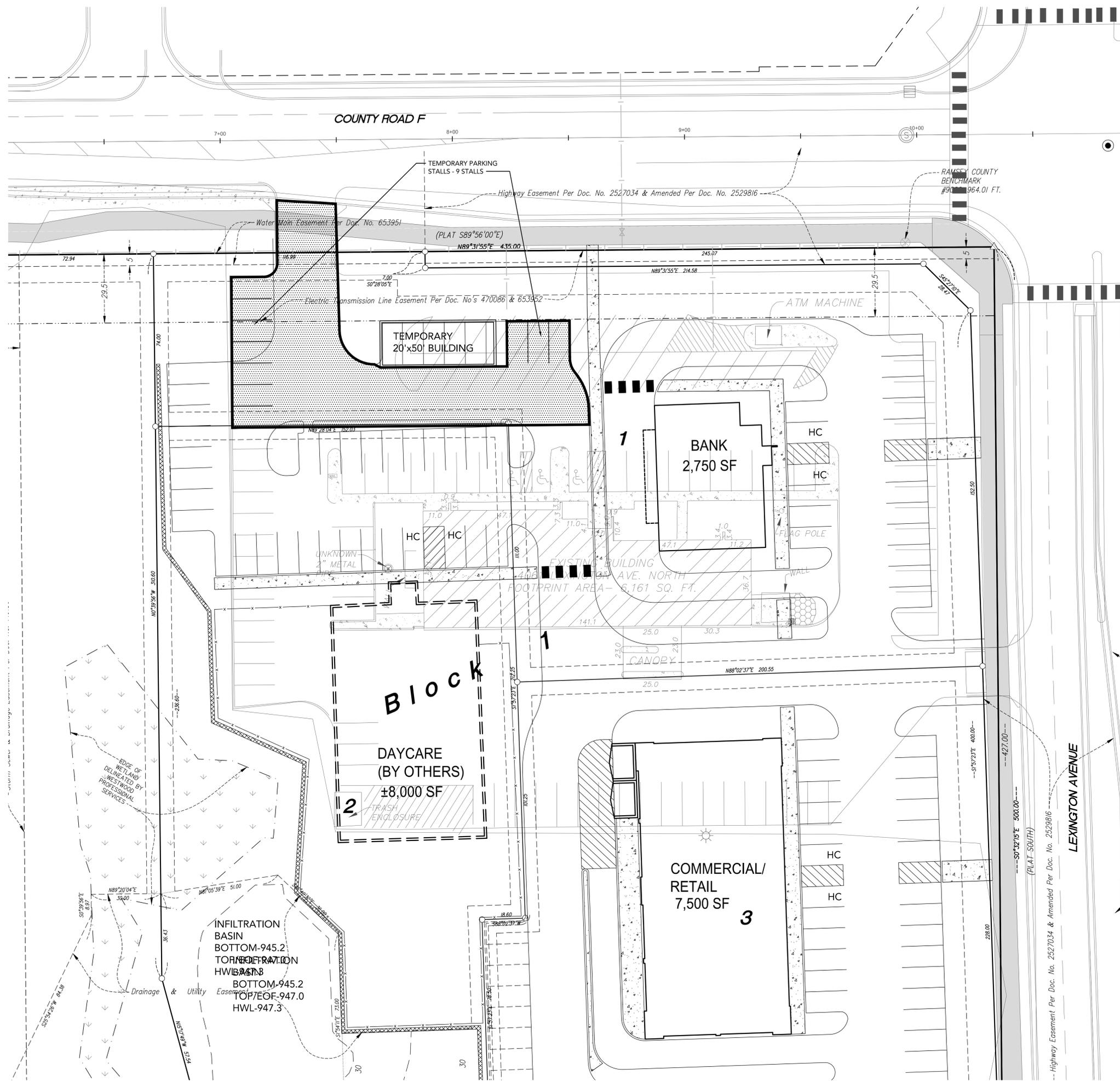
Date

QUALITY CONTROL

Loucks Project No.	14402.0A
Project Lead	VJV
Drawn By	WBS
Checked By	VJV
Review Date	10/19/16

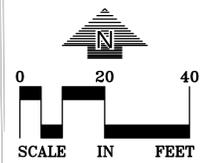
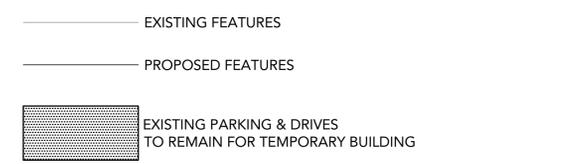
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P1-1	PHOTOMETRIC PLAN



STAGING NOTES

1. CONSTRUCT TEMPORARY BUILDING IN LOCATION SHOWN.
2. LEAVE IN PLACE 6 EXISTING STALLS WEST OF TEMPORARY BUILDING.
3. RE-STRIPE 3 TEMPORARY STALLS EAST OF TEMPORARY BUILDING.
4. DEMO EXISTING BUILDING AND REMAINING PARKING SURFACE AREA.
5. ROUGH GRADE PHASE 1, INCLUDING PONDS.
6. INSTALL UTILITIES FOR PHASE 1.
7. CONSTRUCT NEW BUILDING.
8. CONSTRUCT NEW SURFACE FEATURES, TYING INTO TEMPORARY BUILDING AND PARKING.
9. ONCE NEW BUILDING IS COMPLETE AND OPEN, REMOVE TEMPORARY FEATURES AND FINISH NEW SURFACE FEATURES.



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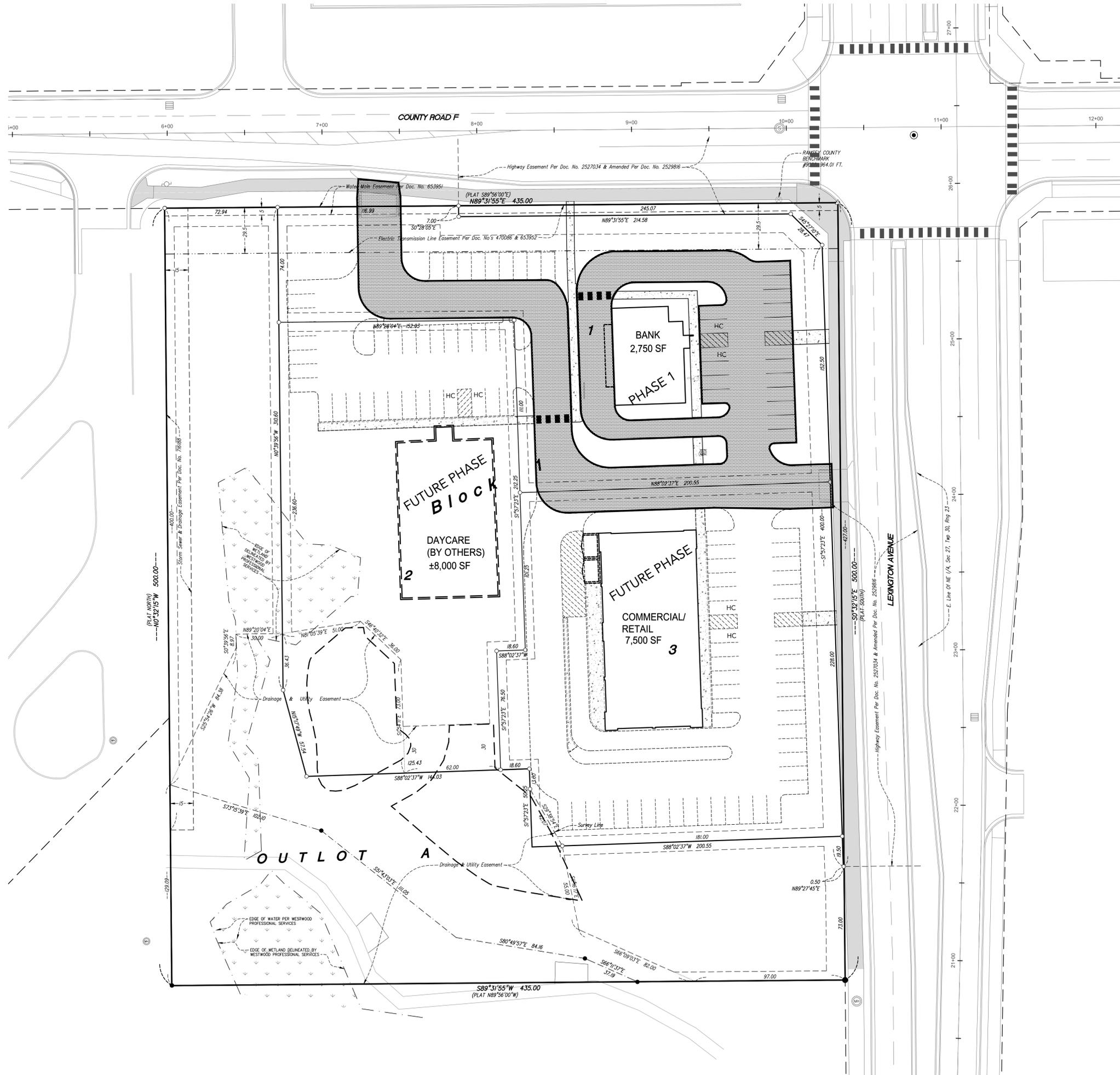
License No. **41352**
Date

QUALITY CONTROL

Project No. **14402.0A**
Project Lead **VJV**
Drawn By **WBS**
Checked By **VJV**
Review Date **10/19/16**

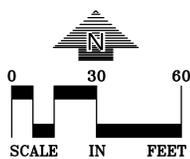
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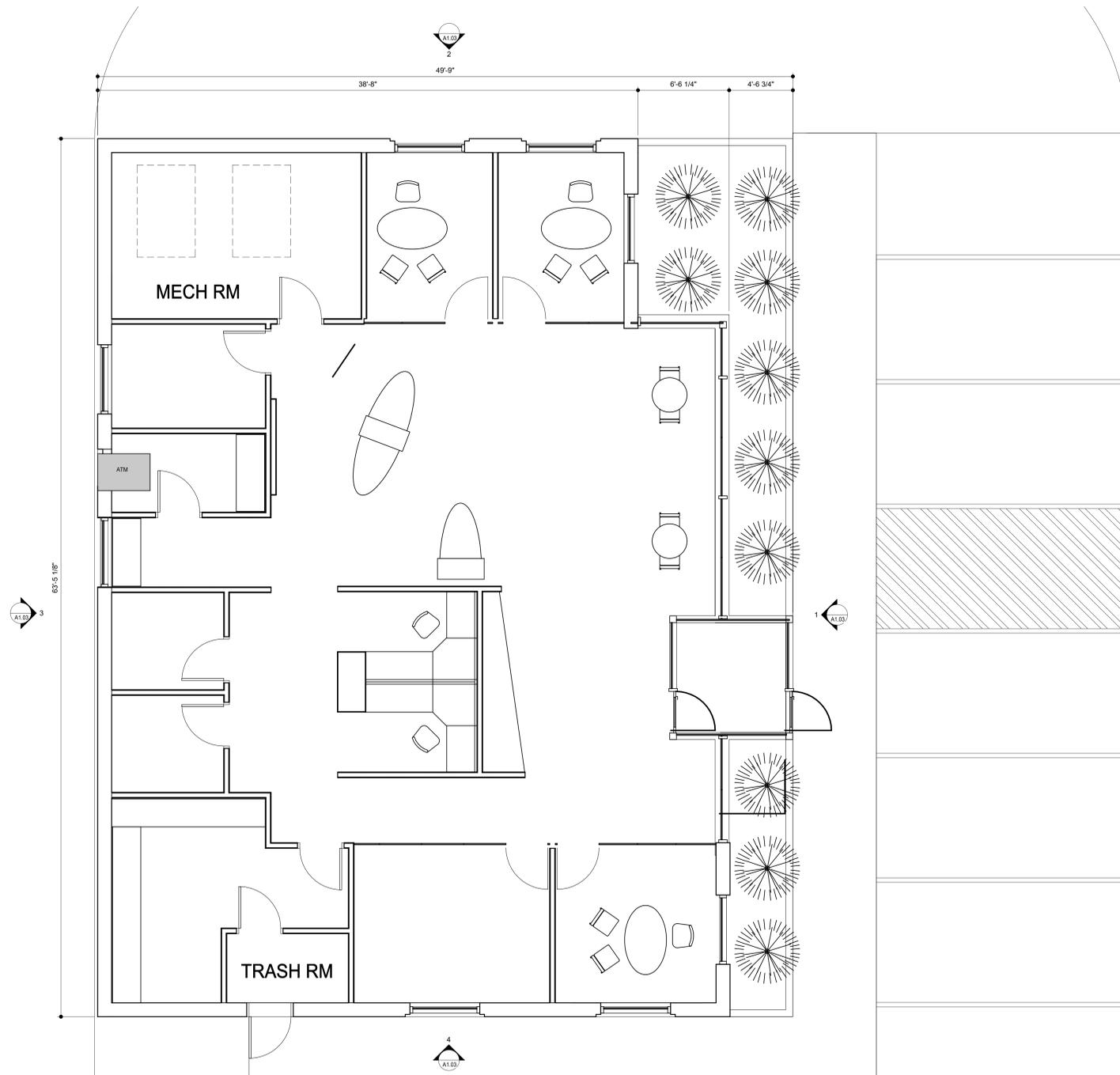
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1
A1.02 FLOOR PLAN
1/4" = 1'-0"



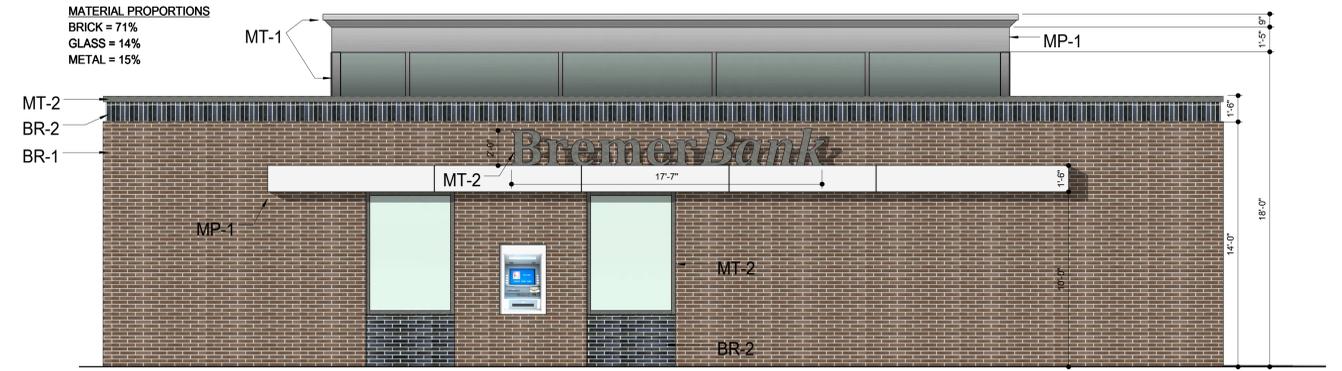
BREMER BANK
ARDEN HILLS, MN

COMM#26175-15196

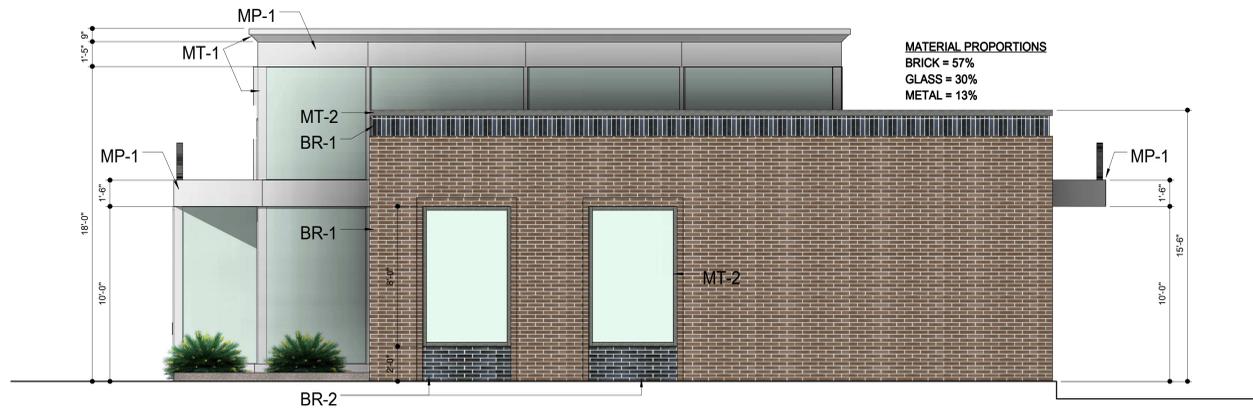




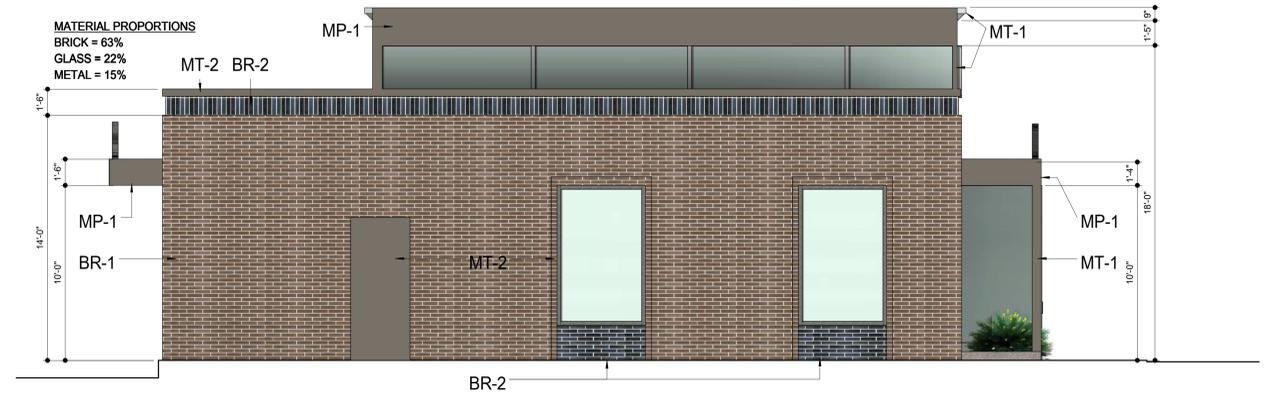
1 BANK - EAST ELEVATION
A1.03 1/4" = 1'-0"



3 BANK - WEST ELEVATION
A1.03 1/4" = 1'-0"



2 BANK - NORTH ELEVATION
A1.03 1/4" = 1'-0"



4 BANK - SOUTH ELEVATION
A1.03 1/4" = 1'-0"



5 SOUTHEAST CORNER
A1.03



6 NORTHEAST CORNER
A1.03

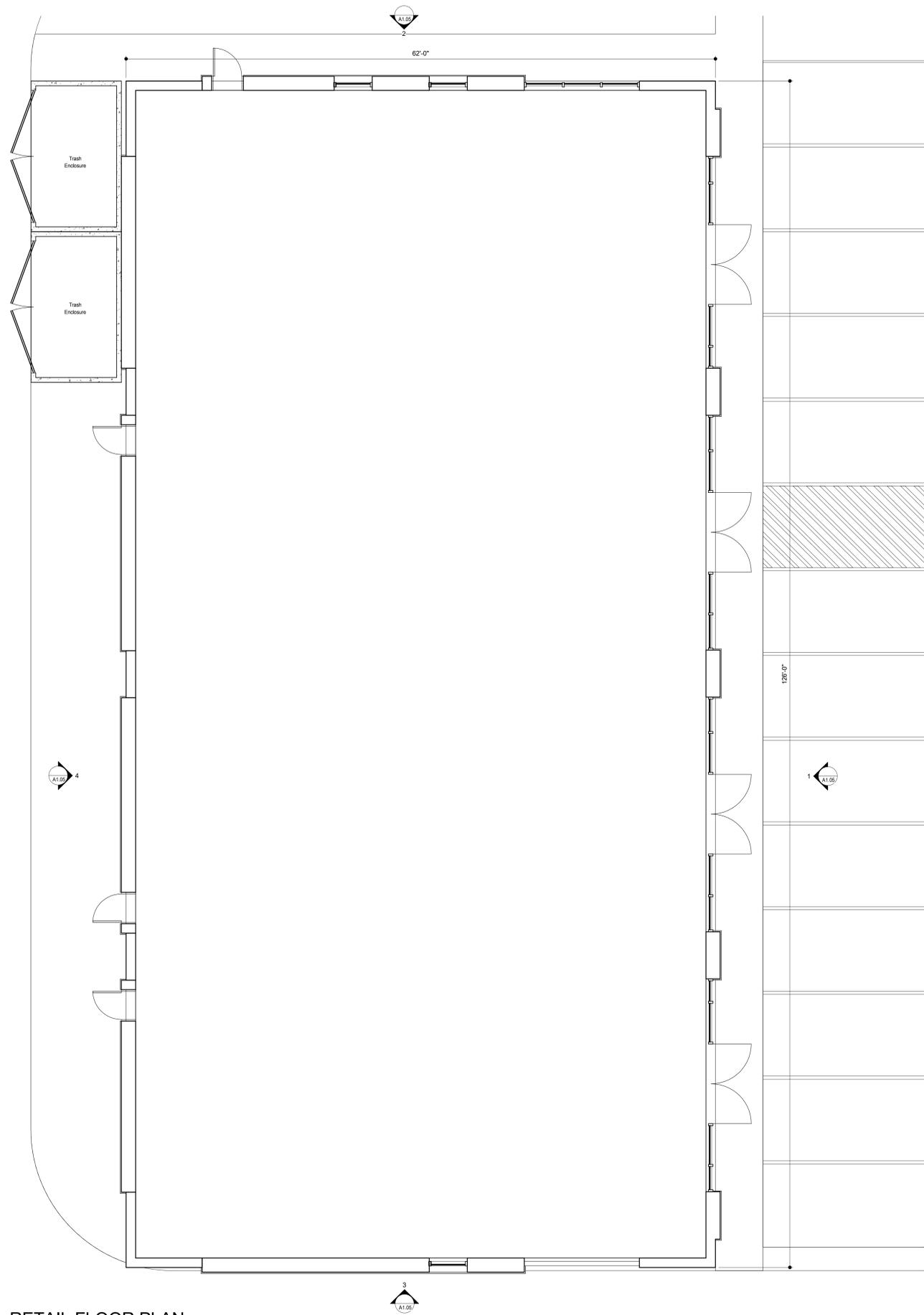
BREMER BANK
ARDEN HILLS, MN



COMM#26175-15196

MATERIAL KEY:
BR-1: ENDICOTT BRICK, COLOR 1
BR-2: ENDICOTT BRICK, COLOR 2
MP-1: ALUCOBOND METAL PANEL, ANODIC CLEAR
MT-1: METAL FINISH TO MATCH ALUCOBOND ANODIC CLEAR
MT-2: DARK BRONZE





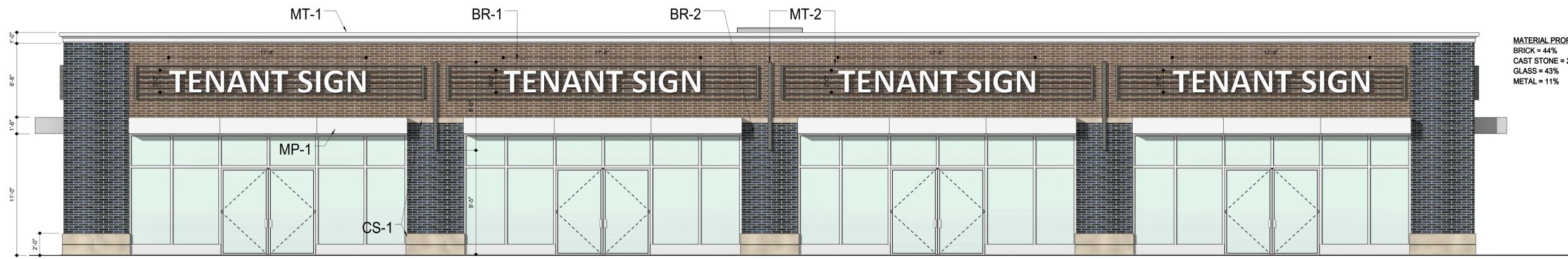
1
A1.04 RETAIL FLOOR PLAN
3/16" = 1'-0"



BREMER BANK
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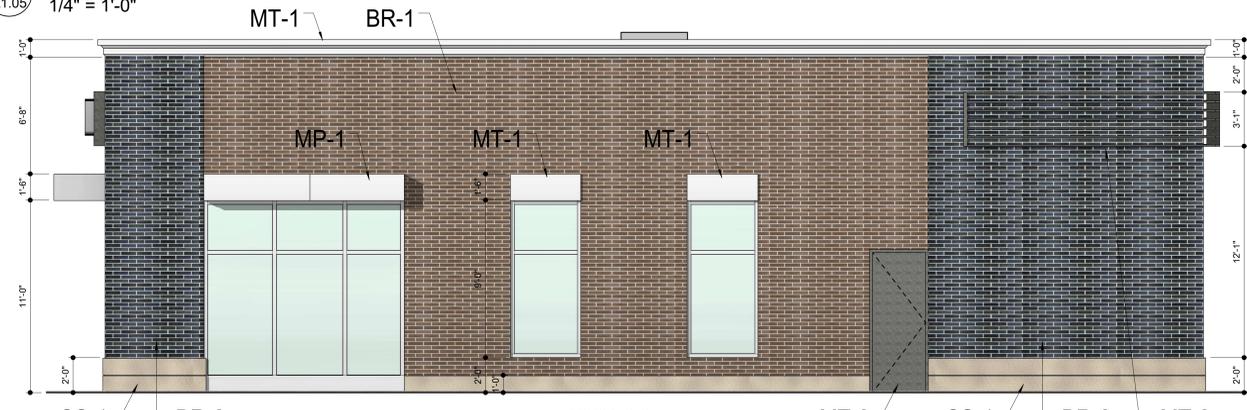
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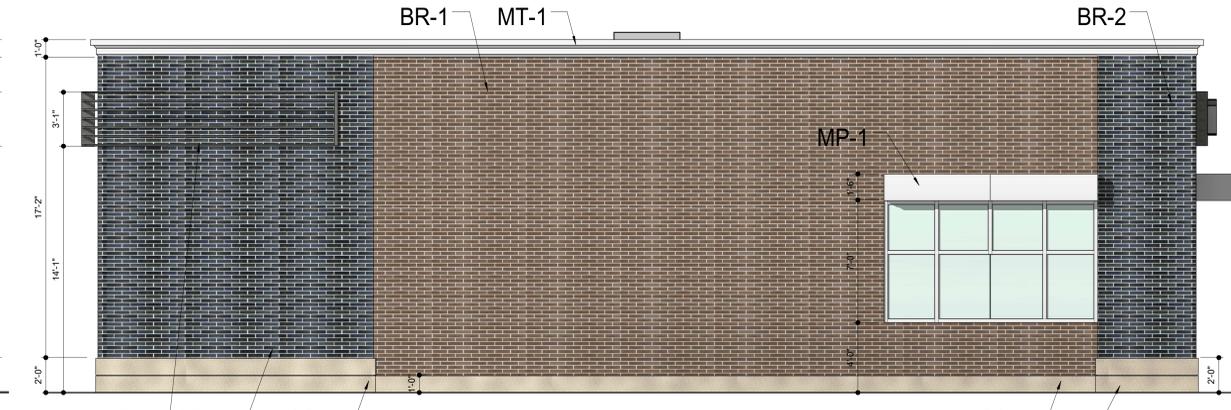


MATERIAL PROPORTIONS
 BRICK = 44%
 CAST STONE = 2%
 GLASS = 43%
 METAL = 11%

1 RETAIL - EAST ELEVATION
 1/4" = 1'-0"

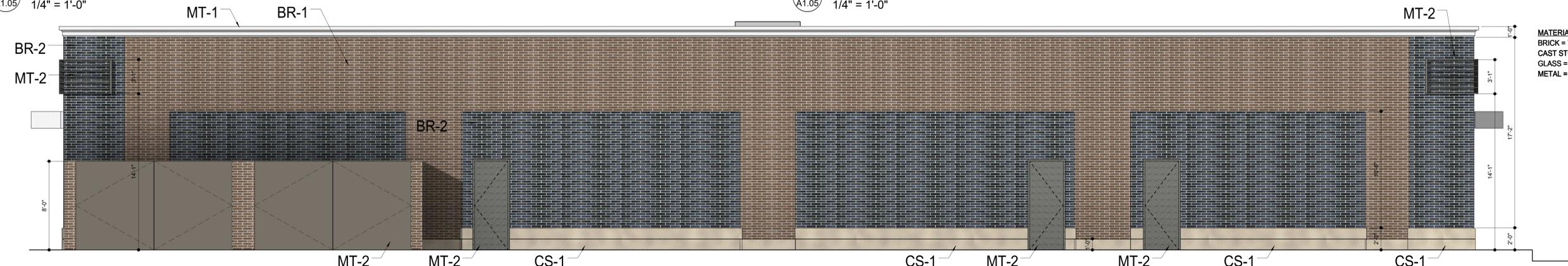


2 RETAIL - NORTH ELEVATION
 1/4" = 1'-0"



MATERIAL PROPORTIONS
 BRICK = 76%
 CAST STONE = 6%
 GLASS = 7%
 METAL = 11%

3 RETAIL - SOUTH ELEVATION
 1/4" = 1'-0"



4 RETAIL - WEST ELEVATION
 1/4" = 1'-0"

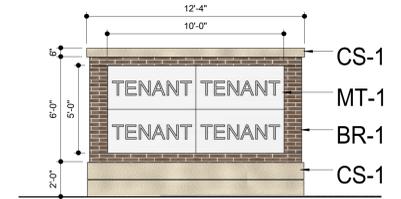
MATERIAL PROPORTIONS
 BRICK = 76%
 CAST STONE = 6%
 GLASS = 0%
 METAL = 18%



5 RETAIL - NORTHEAST CORNER
 1/4" = 1'-0"



6 RETAIL - SOUTHEAST CORNER
 1/4" = 1'-0"



7 MONUMENT SIGN ELEVATION
 1/4" = 1'-0"

MATERIAL KEY:
 BR-1: ENDICOTT BRICK, COLOR 1
 BR-2: ENDICOTT BRICK, COLOR 2
 MP-1: ALUCOBOND METAL PANEL, ANODIC CLEAR
 MT-1: METAL FINISH TO MATCH ALUCOBOND ANODIC CLEAR
 MT-2: DARK BRONZE
 CS-1: ARCHITECTURAL PRECAST STONE



BREMER BANK
 ARDEN HILLS, MN

COMM#26175-15196

